

CODE INFORMATION

- Codes
- **General:** International Building Code (IBC) 2021 & SPS 361-366 Amendments
- **Existing:** International Existing Building Code (IEBC) 2021 & SPS 366 Amendments
- **Energy Conservation:** International Energy Conservation Code (IECC) 2021 & SPS 363 Amendments
- **Plumbing:** Wisconsin Plumbing Code: SPS 380-387
- **Mechanical:** International Mechanical Code (IMC) 2021 & SPS 364 Amendments
- **Electrical:** National Electrical Code (NEC) 2017, & SPS 316 Amendments
- **Fire:** International Fire Code (IFC) 2021 & SPS 314 Amendments
- **Fuel:** International Fuel Gas Code (IFGC) 2021 & SPS 365 Amendments
- **Accessibility:** ANSI Standard A117.1-2017 - Accessibility

IBC Chapter 3 - Use and Occupancy Classification

- **Scope Area:**
  - Business Group M

IEBC Chapter 6 - Classification of Work

- **Alteration Level:** Level 3

IBC 508.3 - Nonseparated Occupancies

- No

IBC Table 601 - Fire-resistance Rating Requirements For Building Elements (Hours)

- **Type VB:**
  - Structural Frame: 0 hr
  - Bearing Walls (Exterior/Interior): 0 hr
  - Non-Bearing Walls (Interior): 0 hr
  - Floors: 0 hr
  - Roof: 0 hr

IBC Section 602 - Construction Classification

- Type VB

IBC Table 803.13 - Interior Wall And Ceiling Finish Requirements By Occupancy

- **(B) NONSPRINKLERED**
  - Exit Stairways/Ramps: Class A
  - Corridors: Class B
  - Rooms/Enclosures: Class C

IBC Section 903 - Automatic Sprinkler Systems

- No Sprinklers

IBC Section 906 - Portable Fire Extinguishers

- **Ordinary (Moderate) Hazard Occupancy:**
  - Type 2-A:
    - Maximum floor area per unit of A: 1,500 SF
    - Maximum floor area for extinguisher: 75 ft
    - Maximum floor area for extinguisher: 11,250 sf
    - Max distance to extinguisher: 75 ft

IBC Section 907 - Fire Alarm and Detection Systems

- No alarm required or provided

IBC Section 1004 - Occupant Load

- See occupant load room schedule

IBC Table 1020.2 - Corridor Fire-resistance Rating

- For Group M:
  - If Occupant Load Served by Corridor is greater than 30: 1hr rated
  - otherwise: not rated

IBC 1006.2.1 - Egress Based on Occupant Load and Common Path of Egress Travel Distance

- **Group B (Without Sprinkler):**
  - Common Path Travel Distance
    - If ≤ 30: 75 ft
    - If > 30: 75 ft
  - Max occupant load (one exit): 49

IBC Table 1017.2 - Exit Access Travel Distance

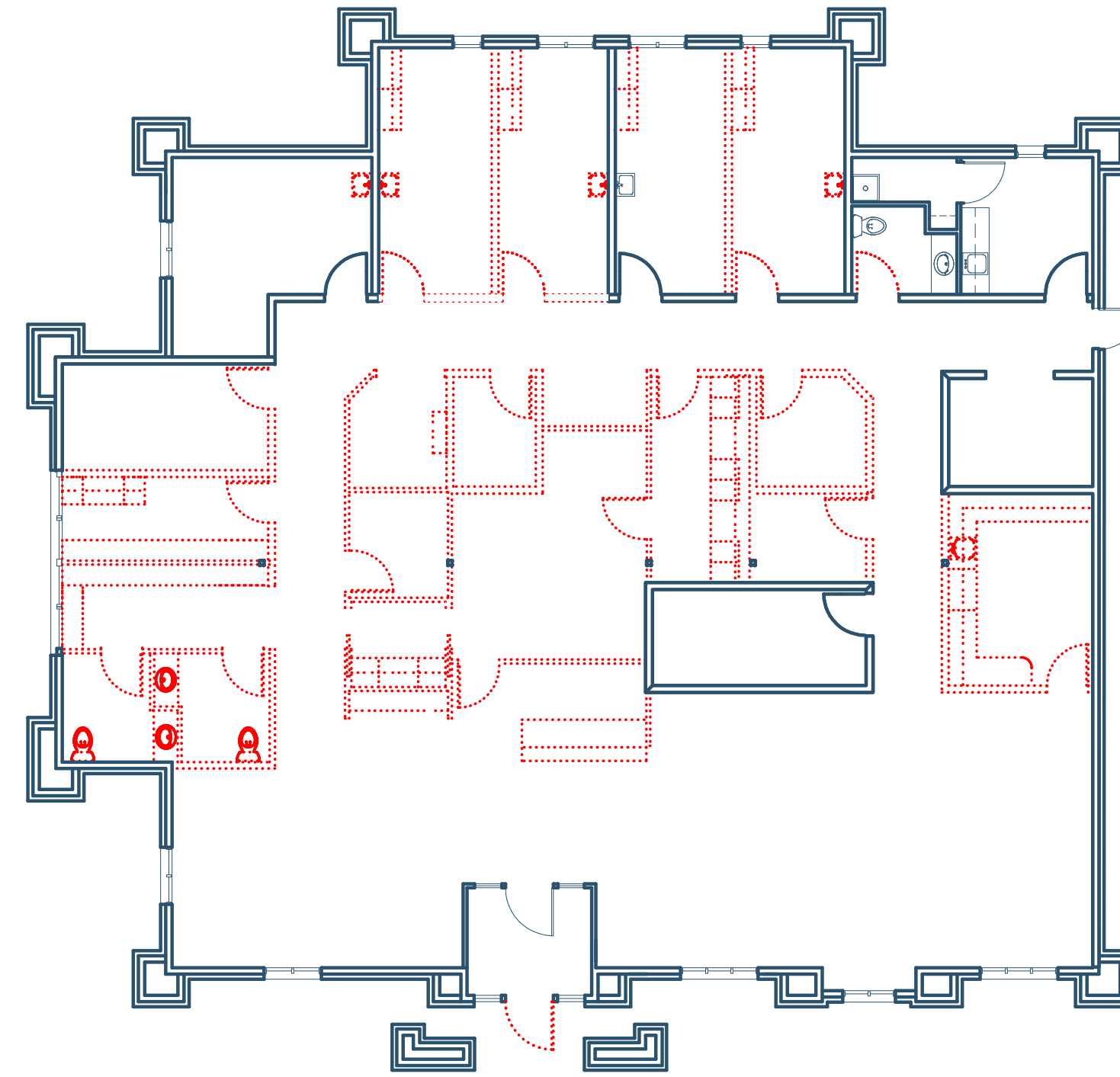
- **Group B (With Sprinkler):**
  - Exit Access Travel Distance: 200 ft

IBC 1020.5 - Dead Ends

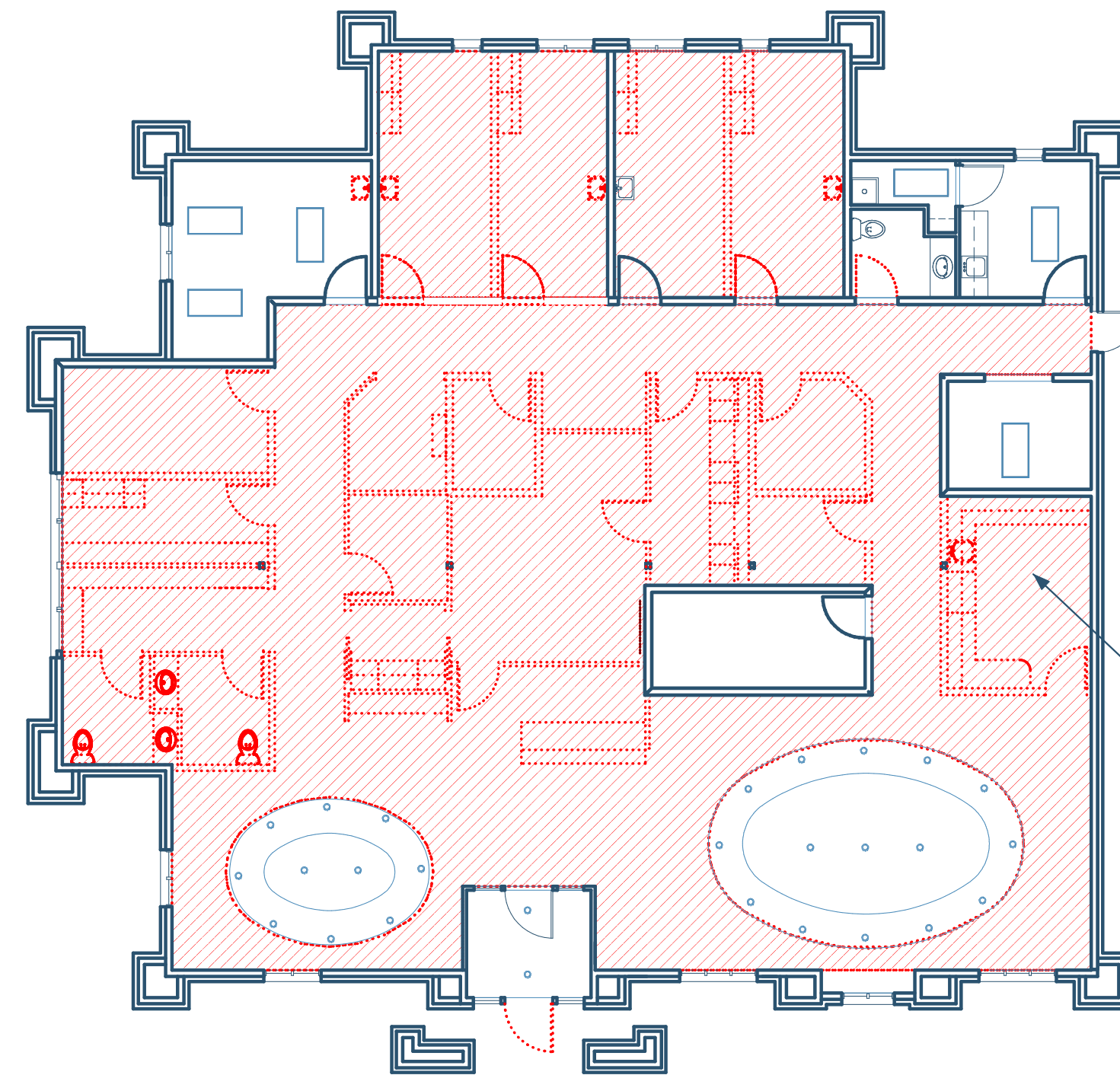
- 20 ft (Without Sprinkler)

IBC 2902.1 - Minimum Number of Fixtures

- **Occupancy M | Total Occupants: 69**
  - Per section 2902.2 separate facilities shall not be required in mercantile occupancies in which the maximum occupant load is 100 or fewer.
    - Water Closets: 1 per 50 → 1 required / 1 provided
    - Lavatories: 1 per 750 → 1 required / 1 provided <- \* Female:
    - Water Closets: 1 per 25 → 1 required / 1 provided
    - Lavatories: 1 per 40 → 1 required / 1 provided
  - Male:
    - Water Closets: 1 per 25 → 1 required / 1 provided
    - Lavatories: 1 per 40 → 1 required / 1 provided →
  - Drinking Fountains:
    - Water provided by bottle fillers, bottled water, or bar service per SPS 362.2902(1)(a)2
  - Service Sink:
    - 1 required / 1 provided



2B/A000 DEMO PLAN 3/32"=1'-0"



HATCHED AREA: REMOVE SUSPENDED CEILING (DRYWALL AT TRUSS CHORD TO REMAIN)

2A/A000 RCP - DEMO PLAN 3/32"=1'-0"

DEMOLITION NOTES

- Salvage the following for possible reuse. GC to make ultimate determination on what to reuse.
  - Light Fixtures
  - Doors and associated hardware
- Contractor to assume all walls/columns indicated to be demolished on the plan to be load-bearing. Contractor is responsible to make the determination they are not load-bearing and can be removed. Consult with the Architect if there is any question.
- Contractor to protect all existing construction from damage, dust, and fumes. Patch and repair as necessary.
- Seal the intake/exhaust of any ducts that route into adjoining spaces that are outside the demolition scope.
- Contractor to coordinate the disconnection and capping (and any associated fees) of any service utilities associated with the demolition scope.
- All floors to be leveled as necessary (grinding, patching, leveling, chiseling) to receive any scheduled finishes.
- Contractor to notify Owner and/or Landlord of any demolition that is necessary outside tenant space.
- Additional demolition, beyond what is identified here, may be required to accommodate the planned construction scope.
- Owner/GC/Subs are responsible to test if removed items contain any hazardous materials and, if so, ensure legal removal in compliance with local, state, and federal laws.
- Contractor is responsible for any temporary shoring necessary when existing structural members are removed to accommodate any new construction. All shoring to be designed by a licensed Structural Engineer retained by the Contractor.
- See Mechanical/Electrical/Plumbing/Fire Protection drawings for any additional demolition scope.

GENERAL NOTES

Design-Build Systems

- Design-Build Systems: Mechanical (HVAC), electrical (and lighting), plumbing, fire protection, and fire alarm systems will be delivered via design-build. These drawings do not include system-specific details. The M/E/P/FP/A contractor is responsible for final design coordination with the general contractor and must notify the architect of any structural or architectural changes in advance.

Permits and Compliance

- Permits and Fees: The general contractor (GC) is responsible for all permits, applications, inspection certificates, taxes, and related fees.
- Codes and Regulations: All work must comply with applicable city, township, county, state, and federal codes, statutes, ordinances, and the requirements of the authority having jurisdiction (AHJ).
- Unauthorized Work: Any construction deviating from the drawings without written architect approval is unauthorized. The contractor is responsible for any required rework.

Coordination and Communication

- Contractors shall review the entire drawing set (including across disciplines) and visit the site before starting work to verify compatibility with existing conditions.
- Contractors must notify the architect of any omissions, conflicts, or discrepancies before construction begins. Failure to do so makes the contractor responsible for rework.
- The GC must coordinate access panel/clean-out locations with the M/E/P contractor and the architect.
- GC to confirm all pipe/duct routing with M/E/P contractors before framing.
- Only architectural and structural drawings have been coordinated with the architect; notify the architect if M/E/P work conflicts with these drawings.
- GC must provide the architect a minimum of two weeks to review shop drawings and substitution requests. Architect's review does not relieve the contractor of responsibility for safety or construction methods.
- Architect's presence on-site does not imply approval. Contractor must specifically call out work requiring architect review/approval.

Construction Responsibilities

- Verify all dimensions and takeoffs prior to bidding or ordering materials.
- Do not scale drawings.
- Maintain ingress and egress to the site during construction.
- Contractor responsible for protecting finished surfaces (e.g., exposed concrete).
- Contractor responsible for all temporary shoring, designed by a licensed structural engineer.
- Manufactured products/equipment must be installed per manufacturer requirements.
- GC to provide blocking and supports for mounted items (e.g., grab bars, plumbing fixtures, millwork, casework).
- Contractor responsible for repair of any damage caused by their work.
- Contractor to collect, transport, and dispose of all construction waste.
- Keep site clean: remove debris and unused equipment regularly.

Fire and Safety Requirements

- Seal all penetrations in rated partitions, ceilings, and floors with UL-approved, code-compliant firestop.
- Notify the architect of any exterior wall penetrations larger than 12"x12".
- Any new or modified fire alarm systems must integrate with the existing system.
- Before coring prefensioned or post-tensioned slabs, GC must hire a third-party scanning company. Report must be reviewed/approved by owner's structural engineer.

Site and Envelope Requirements

- Exterior flatwork around the building must slope away at a minimum of 2%.
- Unless noted otherwise, interior floors must slope 2% toward floor drains.
- Seal all exterior envelope penetrations to prevent air/water leakage per IBC requirements.
- All exterior structural steel to be hot-dipped galvanized (all cutting, drilling, welding, or bending completed prior to dipping).

Closeout and Owner Responsibilities

- GC to train owner in the operation and maintenance of installed products/equipment.
- Prior to substantial completion, contractor shall clean the site and deliver all required guarantees, lien waivers, and maintenance manuals.
- Owner is responsible for work not specifically identified in the drawings.
- Any changes involving additional cost or time must be approved in writing by the owner/architect before construction.
- Details are typical unless noted otherwise; apply them to similar conditions throughout the project.
- Any furniture shown is for reference only.

Hazardous Materials

- Architect is not responsible for identifying, handling, or addressing hazardous materials (e.g., asbestos, PCBs, or other toxic substances).

Materials

- Any unspecified materials required for proper installation/performance shall be provided by the contractor.

ISSUANCE	SHEET NUMBER	SHEET NAME
03.09.2026 - Permit Revisions	A100	FLOOR PLAN AND SCHEDULES
03.09.2026 - Permit Revisions	A150	REFLECTED CEILING PLAN
03.09.2026 - Permit Revisions	A400	INTERIOR ELEVATIONS
03.09.2026 - Permit Revisions	A000	INFO AND DEMOLITIONS PLANS

4/A000 SHEET INDEX



Tenant: Play It Again Sports  
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161 Horizon Dr  
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Architect: OpeningDesign  
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03.09.2026

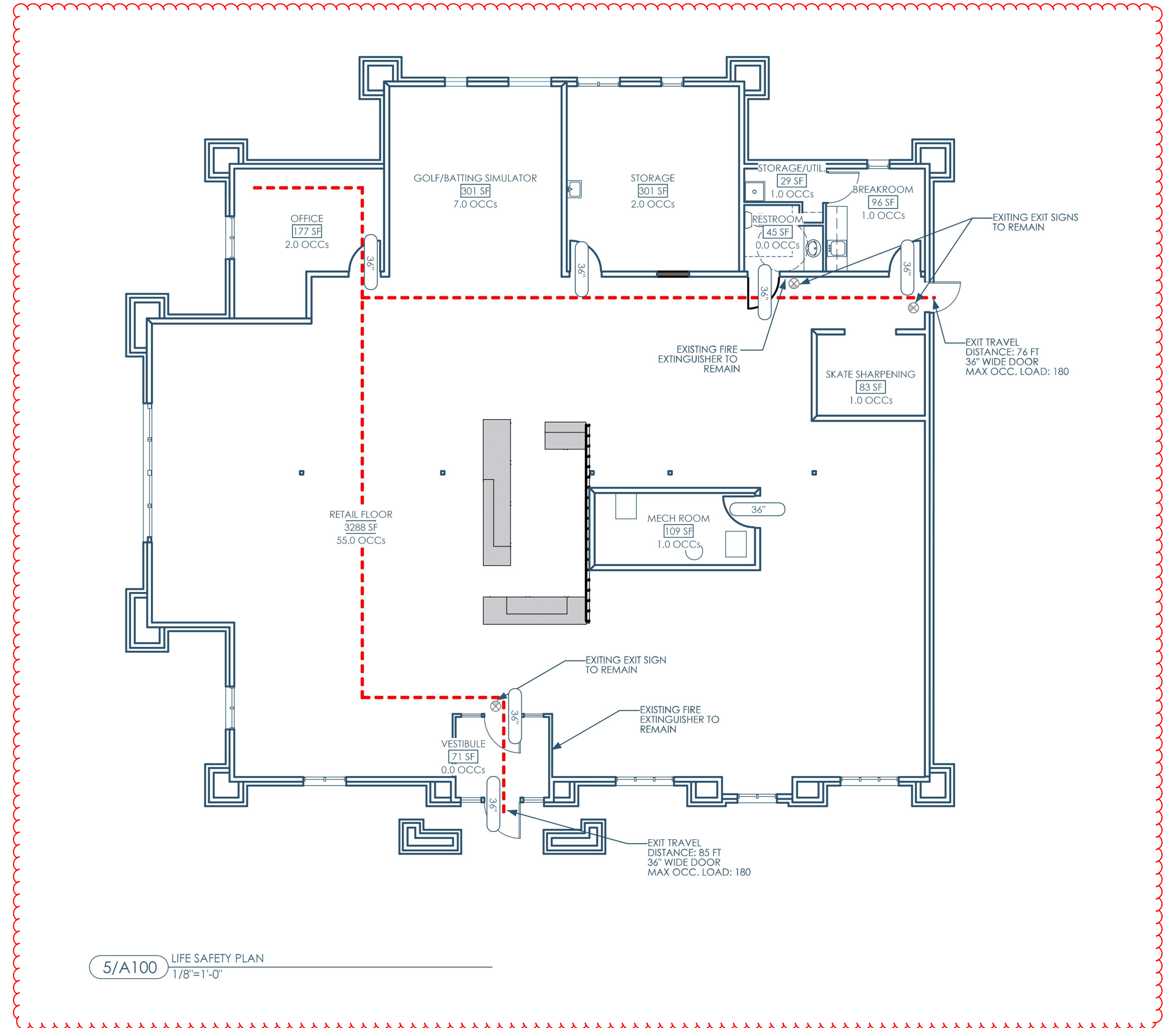
INFO AND DEMOLITION PLANS  
PLAY IT AGAIN SPORTS - SUN PRAIRIE  
1721 W MAIN ST, SUN PRAIRIE, WI 53590

A000

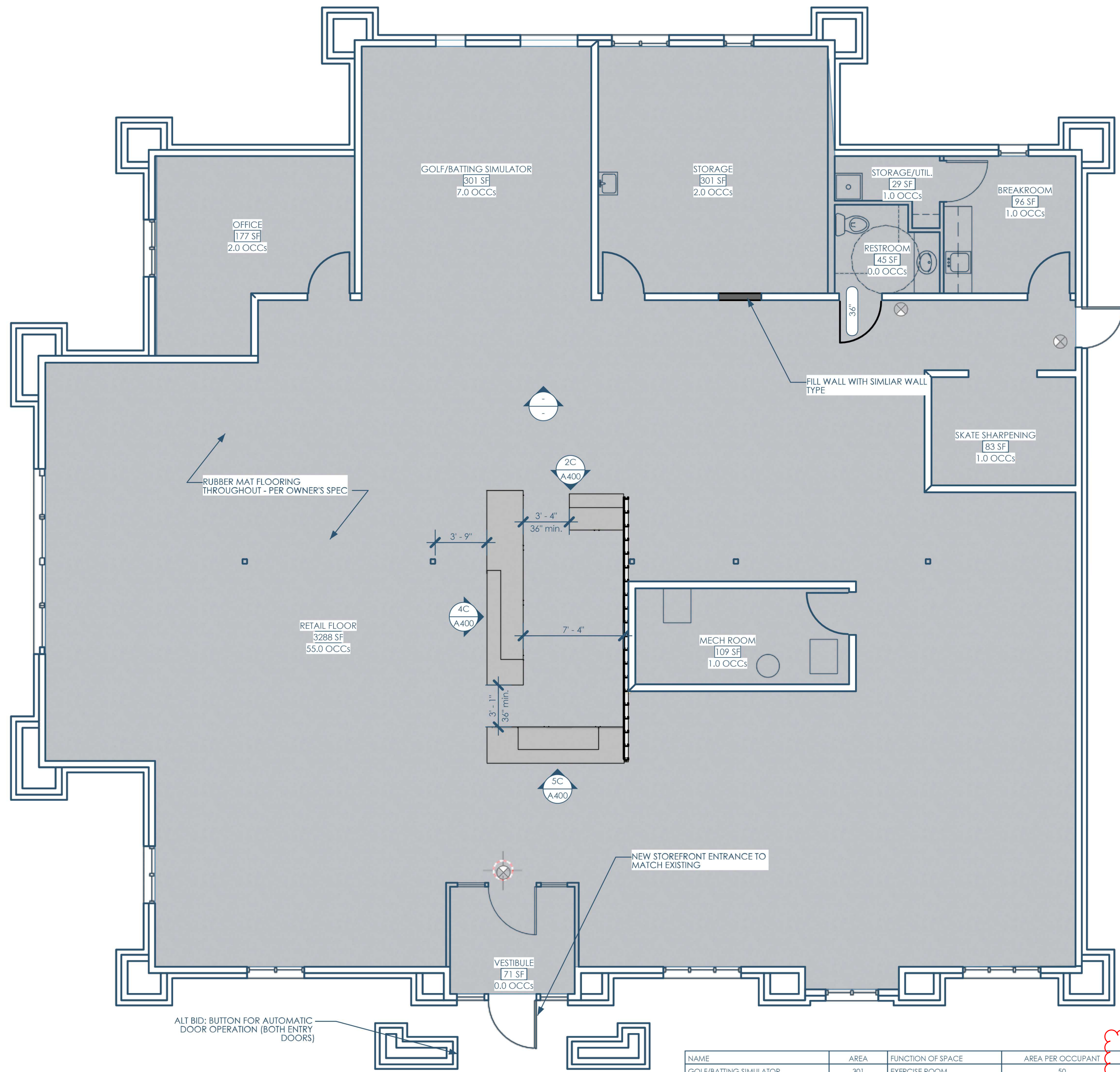
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TYPE MARK	TYPE	WIDTH	TYPE COMMENTS
36"	REUSE SALVAGED DOOR	3'-0"	PRIVACY INDICATOR LOCK (OCCUPANCY INDICATOR DEADBOLT)

2C/A100 DOOR SCHEDULE - SIMPLE



5/A100 LIFE SAFETY PLAN  
1/8"=1'-0"

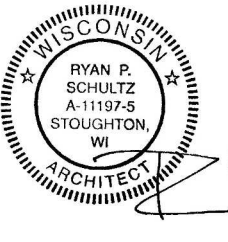


5A/A100 FLOOR PLAN - 1ST FLOOR  
3/16"=1'-0"

NAME	AREA	FUNCTION OF SPACE	AREA PER OCCUPANT	OCCUPANTS	EMERGENCY ILLUMINATION
GOLF/BATING SIMULATOR	301	EXERCISE ROOM	50	7.0	-
STORAGE	301	STORAGE	300	2.0	-
VESTIBULE	71	CIRCULATION	0	-	YES <sup>1</sup>
BREAKROOM	96	BUSINESS	150	1.0	-
STORAGE/UTIL.	29	STORAGE	300	1.0	-
MECH ROOM	109	MECH ROOM	300	1.0	-
SKATE SHARPENING	83	BUSINESS	150	1.0	-
RESTROOM	45	CIRCULATION	0	-	-
RETAIL FLOOR	3288	MERCANTILE	60	55.0	YES <sup>1</sup>
OFFICE	177	BUSINESS	150	2.0	-
Sum:	4500			69.0	

1. See Lighting Notes on the reflected ceiling plan, for emergency lighting requirements.

4A/A100 ROOM SCHEDULE - OCCUPANCY



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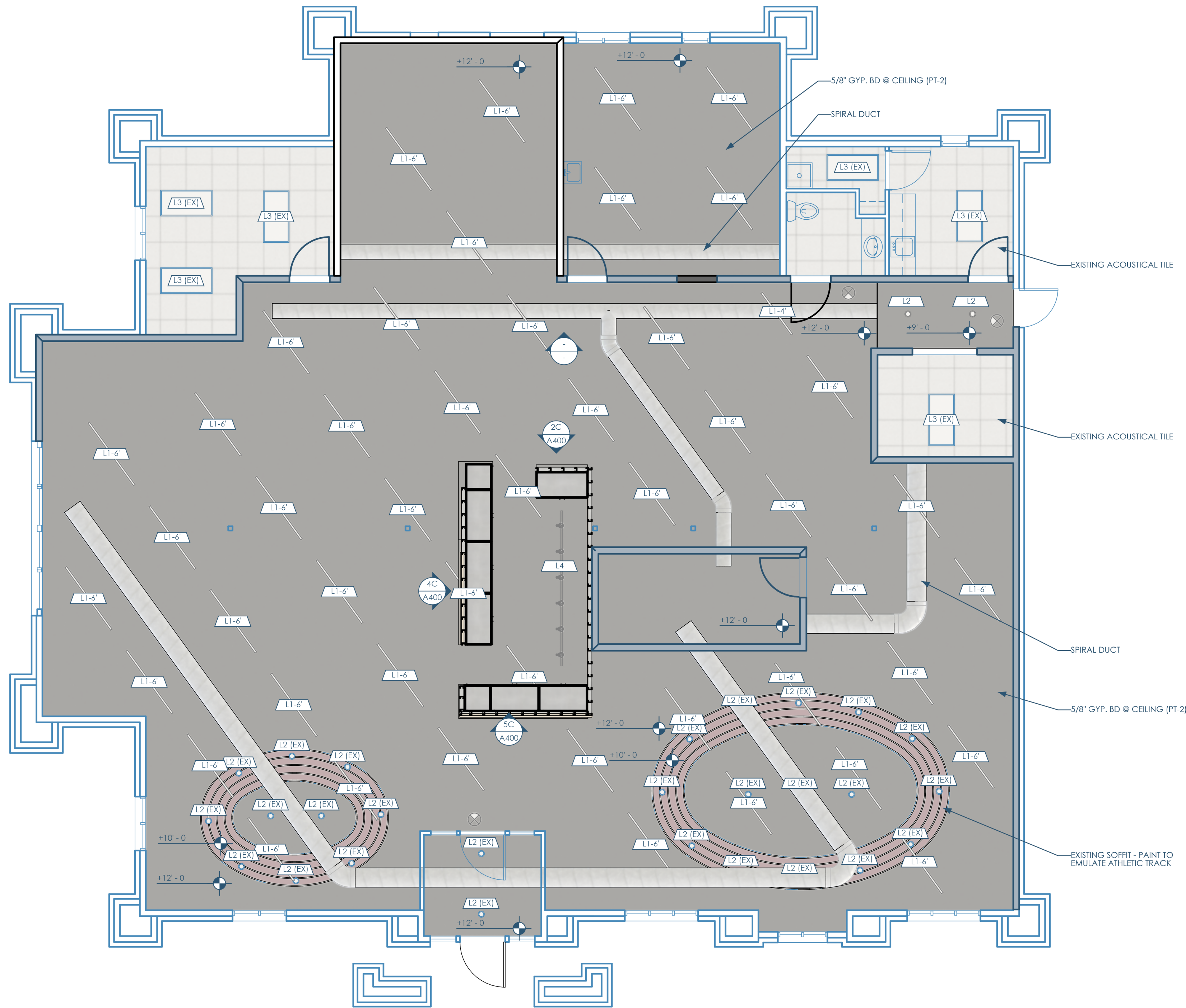
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FLOOR PLAN AND SCHEDULES  
PLAY IT AGAIN SPORTS - SUN PRAIRIE  
1721 W MAIN ST, SUN PRAIRIE, WI 53590

A100

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5A/A150 RCP - 1ST FLOOR  
3/16"=1'-0"

MARK	TYPE	MANUFACTURER	MODEL	DESCRIPTION	TYPE COMMENTS	URL	COUNT
L1-4	LINEAR LED - DECORATIVE - 4FT	WESTGATE	SCE-SERIES	4FT (BLACK)	-	-	1
L1-6	LINEAR LED - DECORATIVE - 6FT	WESTGATE	SCE-SERIES	6FT (BLACK)	-	-	48
L2	REUSE EXISTING RECESSED CAN	-	-	-	-	-	2
L4	TRACK LIGHTING	JUNO LIGHTING	1620	BLACK	2FT PER HEAD - 12FT TRACK	-	6

4A/A150 LIGHTING SCHEDULE

**LIGHTING NOTES**

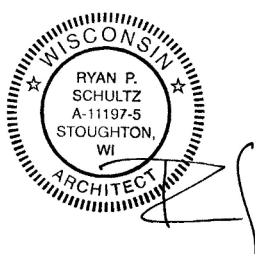
- All bulbs shall be LED with a color temperature as close to 3000K as possible.
- Emergency illumination shall comply with IBC 1008. The contractor/electrician is responsible for ensuring the following:
  - Refer to the Occupancy Room Schedule to identify spaces requiring emergency lighting. Note that landings outside all major exits also require emergency lighting.
  - Emergency lighting shall provide a minimum of 1 foot-candle throughout all designated spaces.
  - The emergency power system shall supply power for a minimum duration of 90 minutes, using storage batteries, unit equipment, or an on-site generator.
  - Exit signs shall be internally or externally illuminated per IBC 1013.3.
- If required by the Authority Having Jurisdiction (AHJ), the electrical contractor shall submit plans demonstrating compliance with emergency lighting and energy code requirements. Copies of all approval letters must be provided to the architect.



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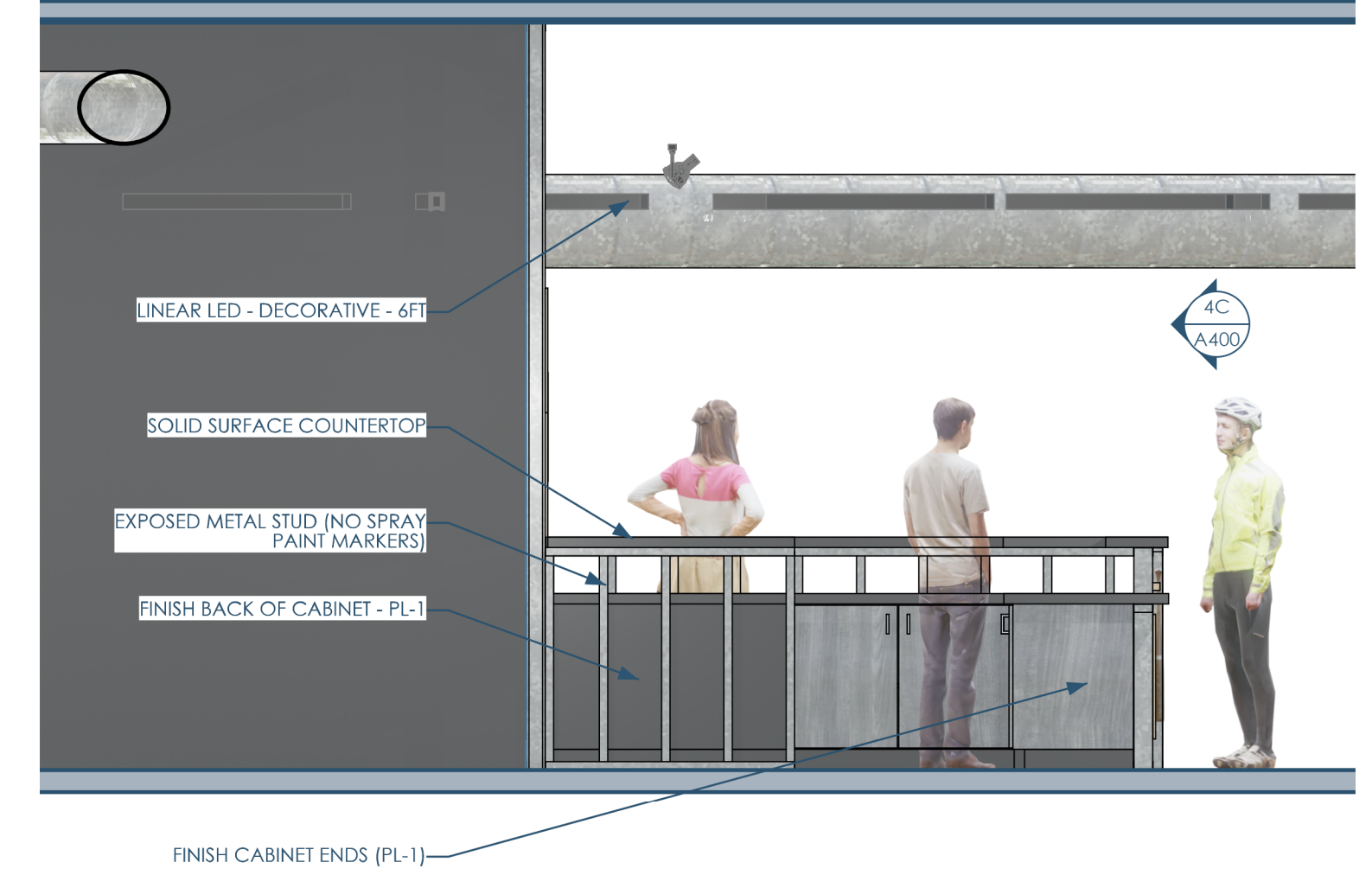
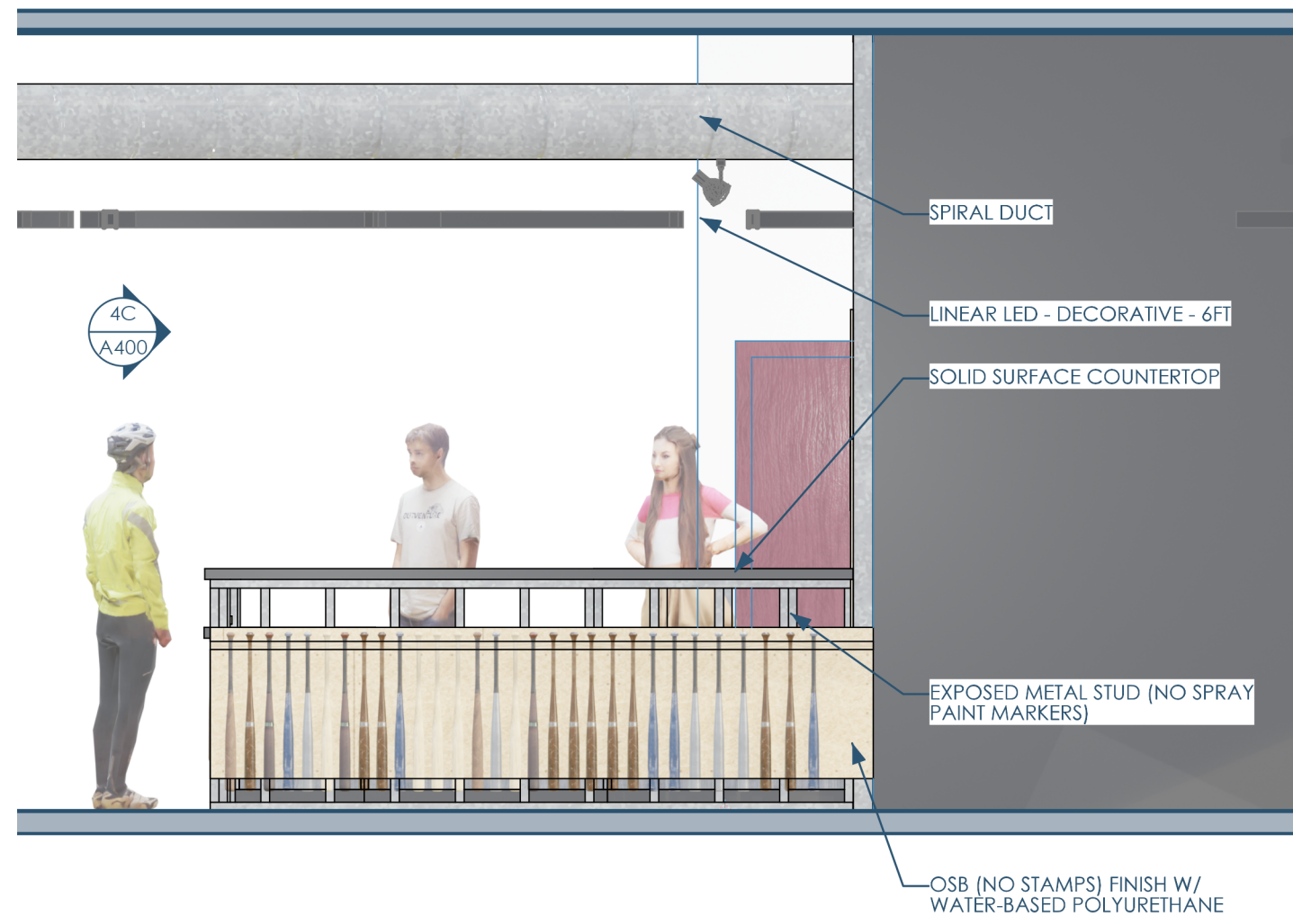


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REFLECTED CEILING PLAN  
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5C/A400 POS - ELEVATION - WEST  
3/8"=1'-0"

4C/A400 POS - ELEVATION - NORTH  
3/8"=1'-0"

2C/A400 POS - ELEVATION - EAST  
3/8"=1'-0"



5B/A400 PERSPECTIVE 1

4B/A400 PERSPECTIVE 2

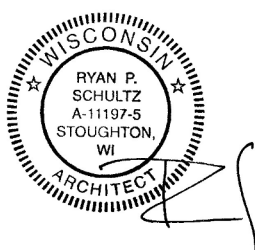
2B/A400 PERSPECTIVE 3



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03.09.2026

INTERIOR ELEVATIONS  
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