

Electric and/or natural gas application for new development



Return instructions: Submit your application, development plans and profile and plat of survey to:

Email: co-subdivisionsgroup@we-energies.com

Mail: We Energies Subdivision Group, 500 S. 116th St., West Allis, WI 53214

Fax: 414-944-5512

Questions: Visit we-energies.com or call 800-753-9509

Project timeline

Development schedule

Construction starts on: 4 / 1 / 25

Electric facilities required by: 6 / 1 / 25

Natural gas facilities required by: 6 / 1 / 25

Projected milestone dates

Sewer/water completion: 5 / 1 / 25

Roads to rough grade: 5 / 15 / 25

Curb/gutter completion: 9 / 1 / 25

Paving completion: 10 / 1 / 25

Site location

Development name: Highland Haven

Location: N1807 S Main St

Section: 09 1/4 Section: 41 Town: Town of Koshkonong North, Range 14 East/West

City / Town / Village (enter taxing municipality): Fort Atkinson State: WI ZIP: 53538

Developer information

Business name: TBD - Jason Schultz Tax ID or SS#: 399-90-5110

Mailing address: 718 Walton St. City: Fort Atkinson, WI State: WI ZIP: 53538

Contact name: Jason Schultz Additional contact: _____

Phone: (608) 295-6891 Phone: (_____) _____

Fax: (_____) _____ Fax: (_____) _____

Email: jason@jwschultz.net Email: _____

Preferred contact method: Phone Email Preferred contact method: Phone Email

FOR OFFICE USE ONLY					
SUBDIVISION:					
	District		Service Center		County
AREA		/		/	
Super project #					
Electric WR#					
Electric IO#					
Electric Project Code:					
GS WR#					
Gas IO#					
Gas Project Code:					

If faxing, please provide the development name here: _____

Engineering plans

Status of plans: Conceptual Preliminary Pre-final Final Date of plans: 6 / 25 / 2025

Note: Any changes in the plat of survey or plans made during the project must be communicated promptly to your We Energies representative. This may result in construction delays and/or additional costs.

The following will be required prior to design starting:

Submit a base file to include all layers, specifically:

- Drainage, easements, retention ponds
- Buffer zones and preservation areas
- Topographic lines which establish final grade
- Other areas and easements the utility must avoid
- Water
- Sewer and storm sewer
- Wetlands
- Paved areas

Submit construction plans and plat of survey electronically in DGN, DWG, DFX or CAD format to co-subdivisionsgroup@we-energies.com.

Are there plans for future development? Yes No

If yes, show location(s) on plat or plans.

Surveying/engineering firm

Company name: Batterman

Company phone: (608) 365 - 4464

Contact name: Todd Needham

Contact phone: (608) 931-7793

Email: TNeedham@rhbatterman.com

Fax: (_____) _____

Address: 19 N. High St.

Preferred contact method: Phone Email

City: Janesville State: WI ZIP: 53548

Environmental information for site

Are there wetlands, waterways, or ground waters? Yes No Unknown
Are there threatened or endangered species? Yes No Unknown
Are there cultural or historical resources? Yes No Unknown
Are you aware of any hazardous spills or materials? Yes No Unknown

If the answer to any of the above questions is yes, we require a copy of your environmental permits, reports or sampling data before construction begins. State whether the permit is received and provide a copy before construction begins.

Chapter 30 and/or US Army Corps of Engineers permit obtained? Yes N/A Pending

NR216- Erosion Control/Storm Water Permit obtained? Yes N/A Pending

Water Quality Certification (Wetland Permit) obtained? Yes N/A Pending

Note: If any of the above are discovered during construction, crew activity will stop and we will notify you of subsequent action. This may result in construction delays and/or additional costs.

If faxing, please provide the development name here: _____

Development information

Development name: Highland Haven

This development will be served by: Septic Water Sewer and storm sewer Well Mound system

Typical road improvements to include: Curb and gutter Sidewalk Rural ditch section

Pavement type: Asphalt Concrete Other

Road type: Public Private Both

Known soil conditions that may affect your electric/natural gas installation:

Woods Wetlands Steep slope Rock Other _____

Will this development be completed in phases?

Yes A separate application will be needed for each future phase.

No

Provide information for all that apply:

Development type	Current phase		Future phase		
	No. lots/parcels	No. units	No. lots/parcels	No. units	
<input type="checkbox"/> Single family	_____	_____	_____	_____	
<input type="checkbox"/> Multifamily	_____	_____	_____	_____	
<input checked="" type="checkbox"/> Condominiums	<u>2</u>	<u>1 - will be demoed</u>	<u>1</u>	<u>8</u>	(there will also be a community greenhouse, as well)
<input type="checkbox"/> Apartments	_____	_____	_____	_____	
Lot sizes:	<input checked="" type="checkbox"/> 1.5 acres or less <input type="checkbox"/> More than 1.5 acres <input type="checkbox"/> Both				
Square footage of buildings in the development	Minimum <u>2100</u>		Maximum _____		

If an electric service is required to any of the following, check all that apply:

*Pump *Lift station *Entrance sign lighting Street lighting Other

*A separate electric and/or natural gas application is required for these items.

Will you require installation of other utilities in this development? Phone: Yes No Cable: Yes No

Note: Developer is responsible for contacting phone and/or cable provider to apply for their installation. This information is used for our design purposes.

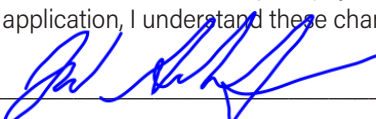
Are there any other special conditions or municipal/development requirements to be aware of for the installation of our facilities? Please describe here:

Please plan for electrical and gas to the greenhouse, as well.

This is will be a Planned Development(PD)--which is pending--so setbacks have not been determined yet.

Authorization

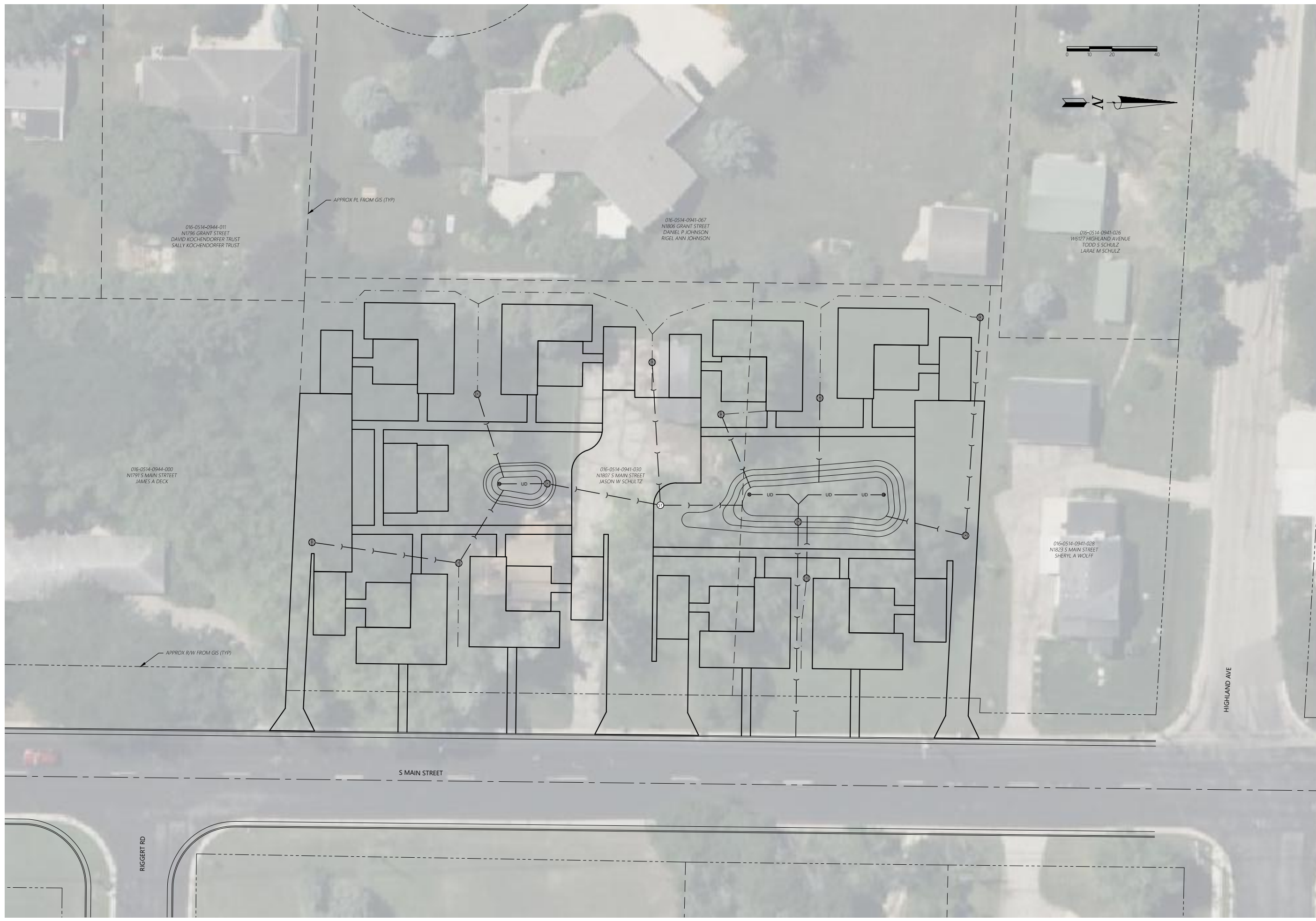
I certify that I own or am the authorized representative of the person(s) who owns the property indicated in this application. I certify the information provided is accurate and will promptly inform We Energies of any plan revision. If installation requirements differ from what is submitted in this application, I understand these changes may result in delays and/or an increased cost to me.

Signature:  Date: 9 / 24 / 2024

Printed Name: Jason Schultz

We value you as a customer and look forward to working with you.

PLOT DATE: 6/25/2024 10:55 AM



RIGGERT RD

S MAIN STREET

HIGHLAND AVE

016-0514-0944-000
N1791 S MAIN STREET
JAMES A DECK

016-0514-0944-011
N1796 GRANT STREET
DAVID KOCHENDORFER TRUST
SALLY KOCHENDORFER TRUST

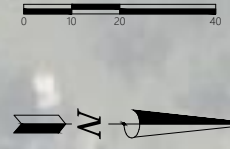
APPROX PL FROM GIS (TYP)

016-0514-0941-030
N1807 S MAIN STREET
JASON W SCHULTZ

016-0514-0941-067
N1806 GRANT STREET
DANIEL P JOHNSON
RIGEL ANN JOHNSON

016-0514-0941-026
W6127 HIGHLAND AVENUE
TODD S SCHULZ
LARAE M SCHULZ

016-0514-0941-028
N1823 S MAIN STREET
SHERYL A WOLFF



NOT FOR CONSTRUCTION - NOT FOR CONSTRUCTION - NOT FOR CONSTRUCTION - NOT FOR CONSTRUCTION - NOT FOR CONSTRUCTION

DESIGNED BY:	LH
DRAWN BY:	GL
CHECKED BY:	TN
APPROVED BY:	TN
PROJECT NO.:	35100

SHEET NO.

1 OF 5

HIGHLAND HAVEN
POCKET NEIGHBORHOOD
CITY OF FORT ATKINSON
JEFFERSON COUNTY, WISCONSIN

35100 - LINENWORK DESIGN.DWG

SITE LAYOUT PLAN

ISSUANCE	DATE	BY
PRELIM DESIGN	06/25/2024	JL
		X
		X
		X
		X

2857 Barrells Drive
Beloit, WI 53511
(608) 365-4464

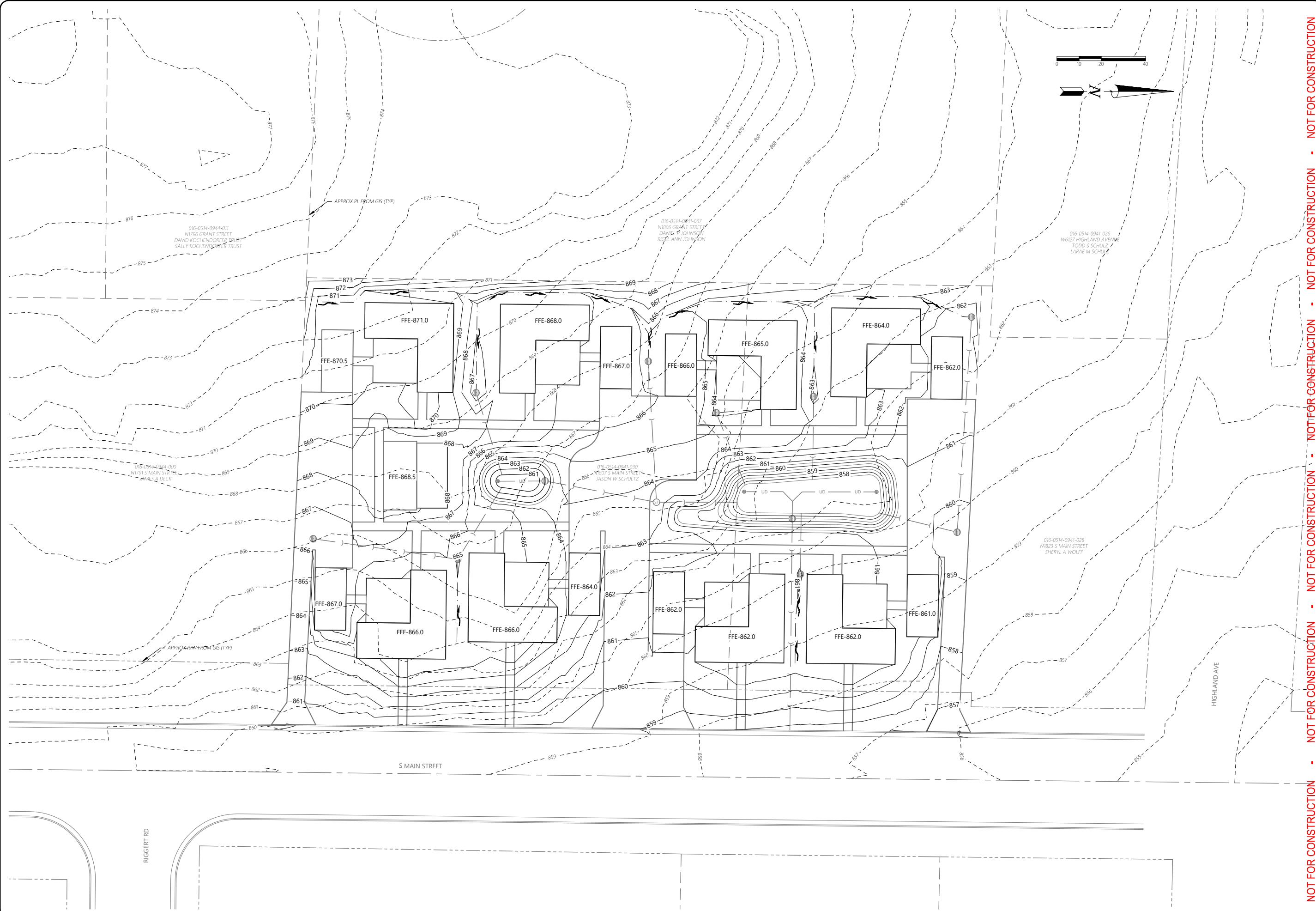
19 N. High Street
Janesville, WI 53548
(608) 743-9350

1040 N. Wisconsin St.
Elkhorn, WI 53121
(262) 379-2250

Batterman
engineers surveyors planners
www.batterman.com

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RIGGERT RD

S MAIN STREET

HIGHLAND AVE

016-0514-0944-011
N1790 GRANT STREET
DAVID KOCHENDORFER TRUST
SALLY KOCHENDORFER TRUST

016-0514-0941-067
N1800 GRANT STREET
DANIEL JOHNSON
RIGEL ANN JOHNSON

016-0514-0941-026
W6127 HIGHLAND AVENUE
TODD S SCHULZ
LARA M SCHULZ

016-0514-0944-000
N1791 S MAIN STREET
TIMES A DECK

016-0514-0941-030
N1801 S MAIN STREET
JASON W SCHULTZ

016-0514-0941-028
N1823 S MAIN STREET
SHERYL A WOLFF

DESIGNED BY:	LH
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APPROVED BY:	TN
PROJECT NO.:	35100

SHEET NO.

2 OF 5

HIGHLAND HAVEN
POCKET NEIGHBORHOOD
CITY OF FORT ATKINSON
JEFFERSON COUNTY, WISCONSIN

35100 - GRADING.DWG

GRADING PLAN

ISSUANCE	06/25/2024	///	///	///	///
PRELIM DESIGN	X	///	///	///	///
	X	///	///	///	///
	X	///	///	///	///
	X	///	///	///	///

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Beloit, WI 53511
(608) 365-4464

19 N. High Street
Janesville, WI 53548
(608) 743-9350

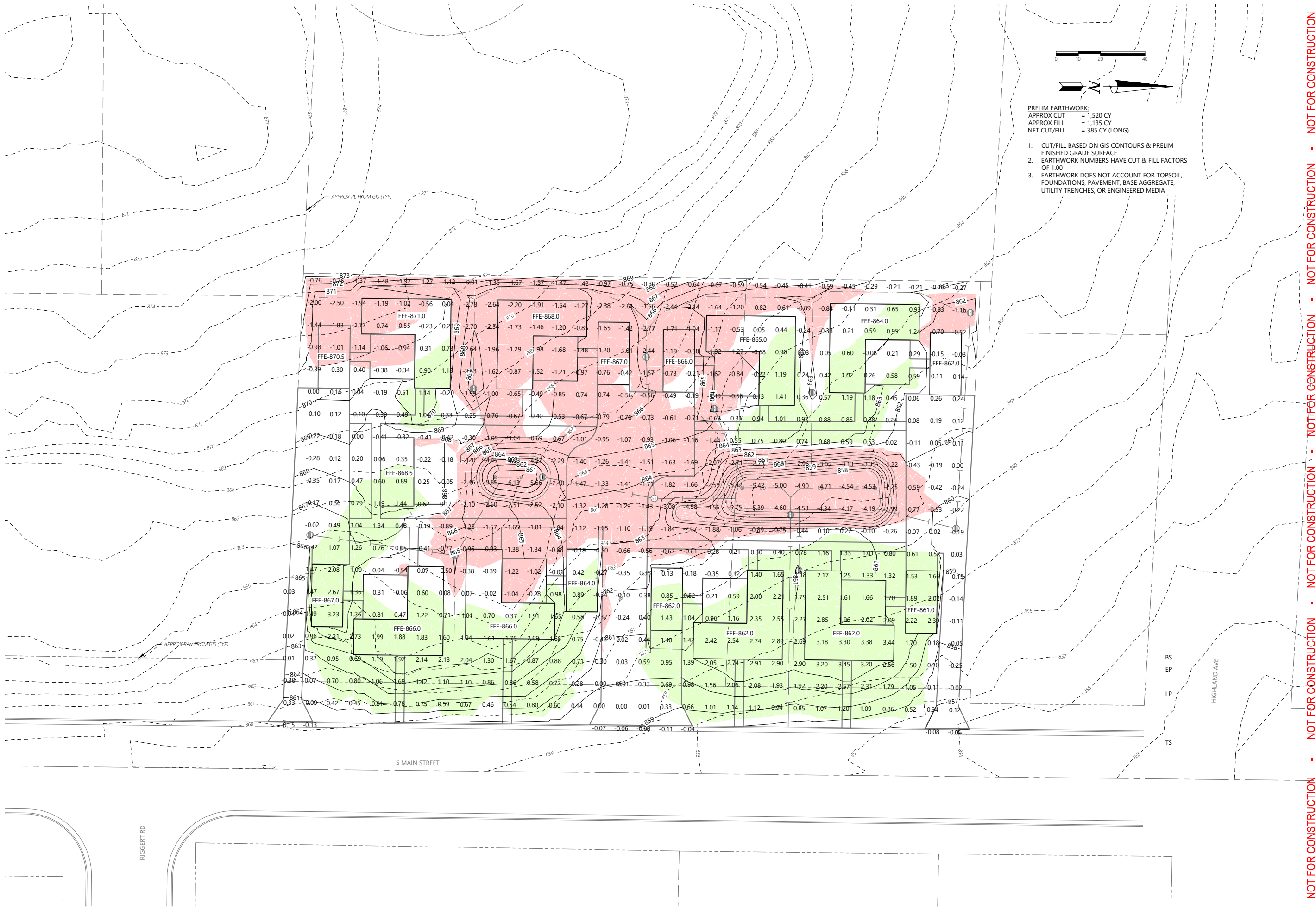
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PRELIM EARTHWORK:
 APPROX CUT = 1,520 CY
 APPROX FILL = 1,135 CY
 NET CUT/FILL = 385 CY (LONG)

1. CUT/FILL BASED ON GIS CONTOURS & PRELIM FINISHED GRADE SURFACE
2. EARTHWORK NUMBERS HAVE CUT & FILL FACTORS OF 1.00
3. EARTHWORK DOES NOT ACCOUNT FOR TOPSOIL, FOUNDATIONS, PAVEMENT, BASE AGGREGATE, UTILITY TRENCHES, OR ENGINEERED MEDIA

NOT FOR CONSTRUCTION - NOT FOR CONSTRUCTION - NOT FOR CONSTRUCTION - NOT FOR CONSTRUCTION - NOT FOR CONSTRUCTION

DESIGNED BY:	LH
DRAWN BY:	GL
CHECKED BY:	TN
APPROVED BY:	TN
PROJECT NO.:	35100

SHEET NO.

3 OF 5

HIGHLAND HAVEN
 POCKET NEIGHBORHOOD
 CITY OF FORT ATKINSON
 JEFFERSON COUNTY, WISCONSIN

EARTHWORK PLAN

ISSUANCE	06/25/2024	///	///	///	///
PRELIM DESIGN	X	X	X	X	X

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 Janesville, WI 53548
 (608) 743-9350

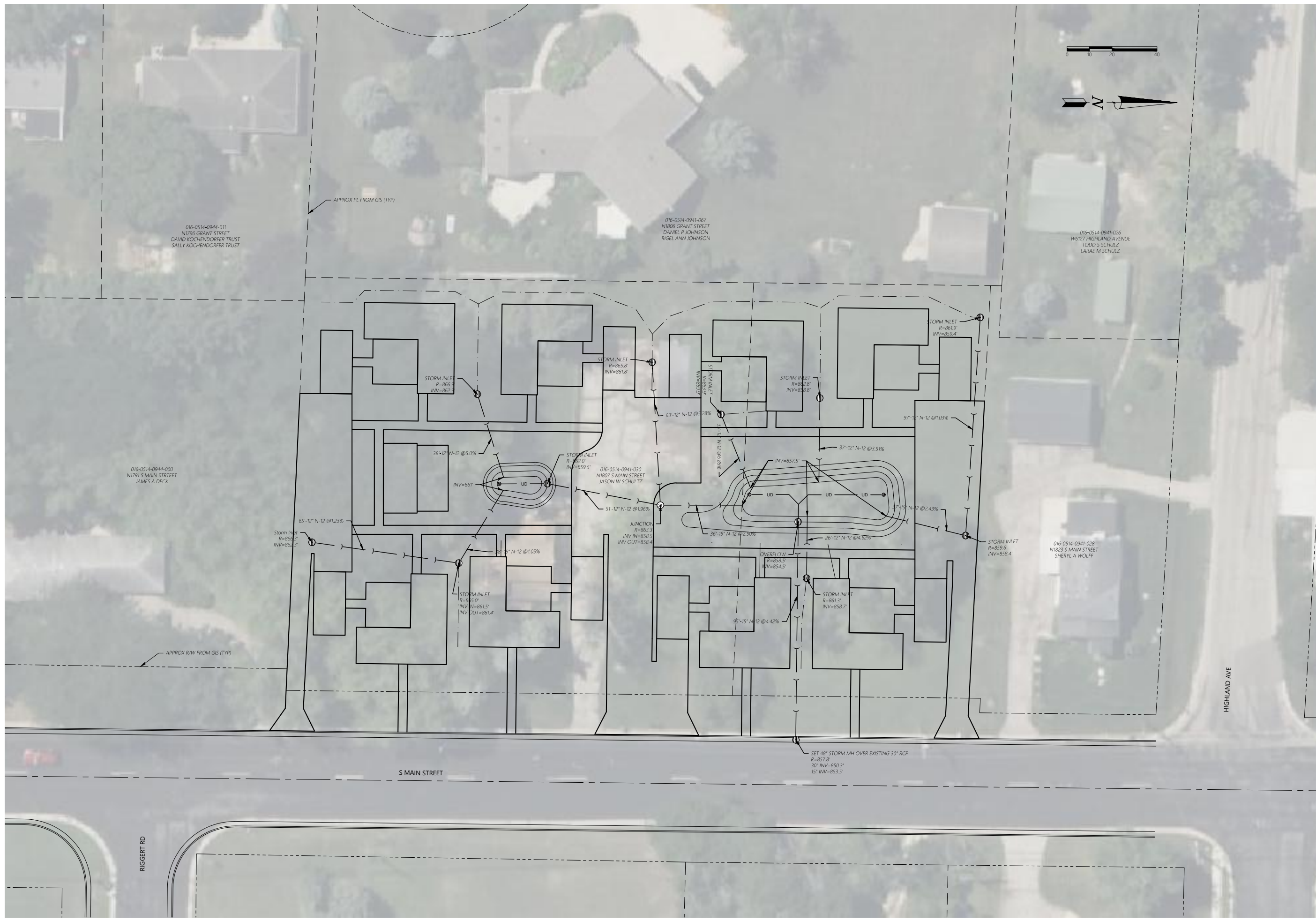
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CHECKED BY:	TN
APPROVED BY:	TN
PROJECT NO.:	35100

SHEET NO.
4 OF 5

HIGHLAND HAVEN
POCKET NEIGHBORHOOD
CITY OF FORT ATKINSON
JEFFERSON COUNTY, WISCONSIN
35100 - LINENWORK DESIGN - KM/DWG

STORM SEWER PLAN

NOTE: DIMENSIONAL DATA IS NOT TO BE OBTAINED BY SCALING ANY PORTION OF THIS DRAWING.

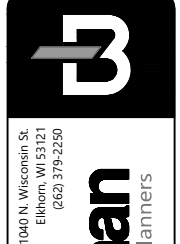
ISSUANCE	DATE	BY
PRELIM DESIGN	X	X
DESIGN	X	X
CONSTRUCTION	X	X
AS-BUILT	X	X

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Beloit, WI 53511
(608) 365-4464

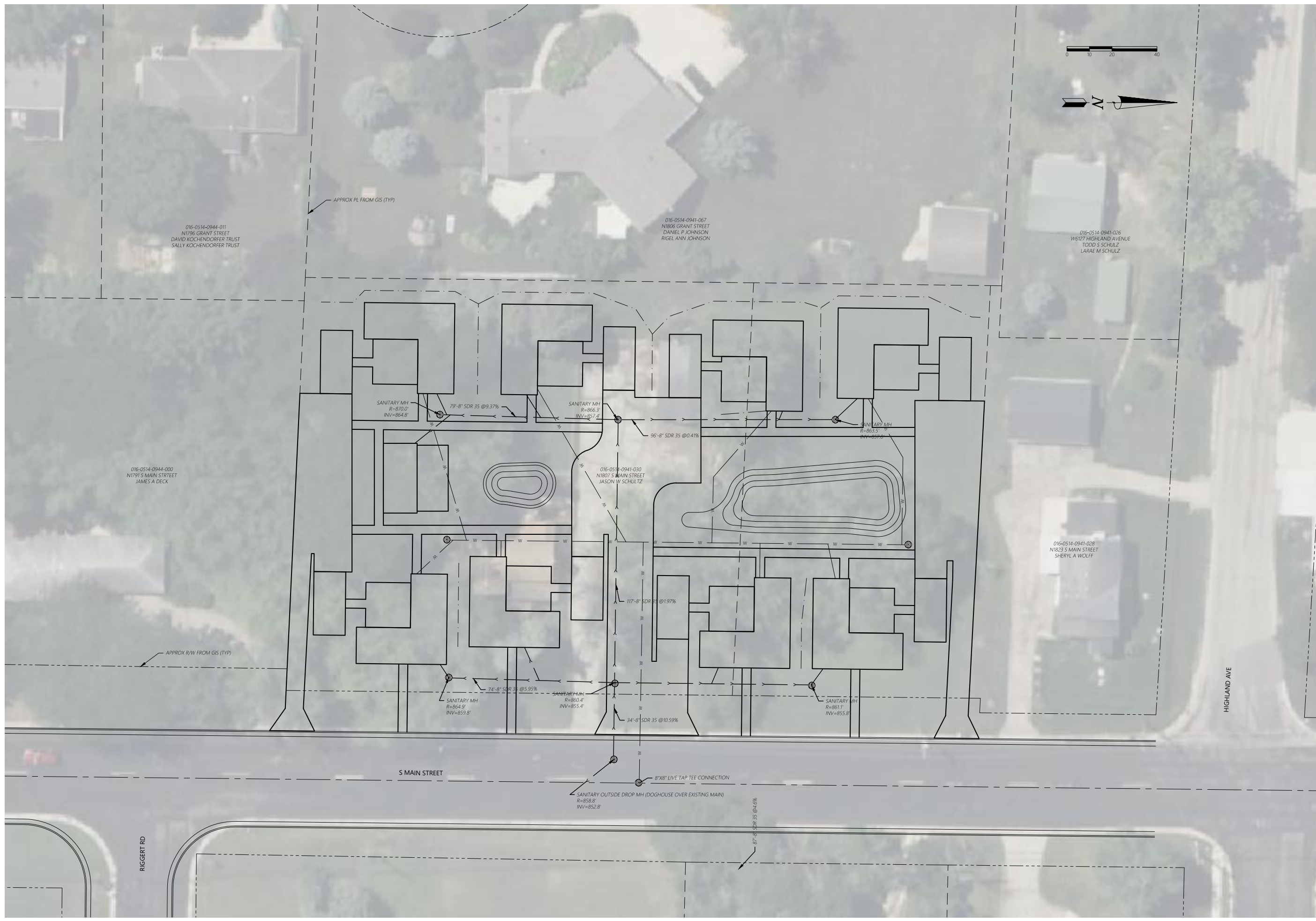
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PLOT DATE: 6/27/2024 3:03 PM



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DESIGNED BY:	LH
DRAWN BY:	GL
CHECKED BY:	TN
APPROVED BY:	TN
PROJECT NO.:	35100

HIGHLAND HAVEN
POCKET NEIGHBORHOOD
CITY OF FORT ATKINSON
JEFFERSON COUNTY, WISCONSIN

35100 - LINENWORK DESIGN - KM/DWG

UTILITY PLAN

ISSUANCE	DATE	BY
PRELIM DESIGN	06/25/2024	JL
		JL
		JL
		JL
		JL

2857 Barellis Drive
Beloit, WI 53511
(608) 365-4464

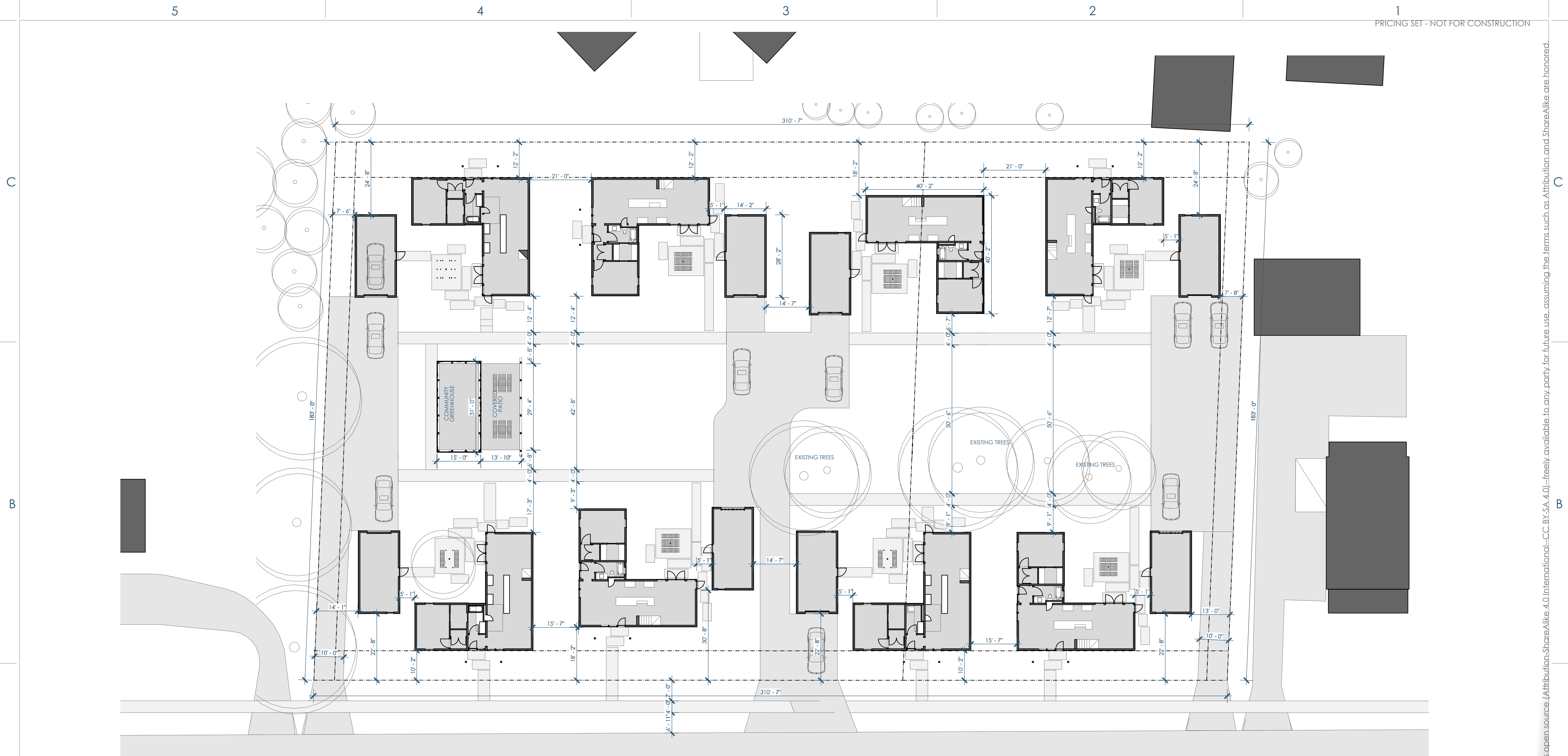
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5A/A100 SITE PLAN_OVERALL
1/16"=1'-0"



Architect: Opening Design
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456



GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

SITE PLAN 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A100

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OCCUPANCY	NUMBER	NAME	AREA	FLOORING	WALLS	CEILING	WALL BASE	COMMENTS
RESIDENCE	100	PRIMARY BEDROOM	166	CARPET (RADIANT HEAT IN SLAB)	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	101	WALK-IN CLOSET	45	CARPET (RADIANT HEAT IN SLAB)	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	102	BATHROOM - 1ST	51	LVT - 1 (RADIANT HEAT IN SLAB)	TILE - 1 AT SHOWER/TOILET - PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	103	CLOS.	12	STAINED AND SEALED CONCRETE (RADIANT HEAT IN SLAB)	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	104	ENTRY	50	STAINED AND SEALED CONCRETE (RADIANT HEAT IN SLAB)	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	105	DINING	169	STAINED AND SEALED CONCRETE (RADIANT HEAT IN SLAB)	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	106	KITCHEN	188	STAINED AND SEALED CONCRETE (RADIANT HEAT IN SLAB)	TILE - 2 AT BACK SPLASH - PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	107	PANTRY	32	STAINED AND SEALED CONCRETE (RADIANT HEAT IN SLAB)	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	108	LIVING ROOM	177	STAINED AND SEALED CONCRETE (RADIANT HEAT IN SLAB)	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	200	BEDROOM 1	152	CARPET OVER 3/4" ACOUSTICAL MAT	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	201	CLOS.	14	CARPET OVER 3/4" ACOUSTICAL MAT	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	202	BATHROOM	106	LVT - 2	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	203	HALLWAY	56	LVT - 3	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	204	STAIR	57	1X MAPLE TREADS AND RISERS	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	205	BEDROOM 2	152	CARPET OVER 3/4" ACOUSTICAL MAT	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
RESIDENCE	206	CLOS.	14	CARPET OVER 3/4" ACOUSTICAL MAT	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
			1441					
GARAGE	109	GARAGE	350	SEALED CONCRETE	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
GARAGE	207	GARAGE STORAGE	301	UNFINISHED OSB	PAINTED GYP. BD. (5/8" AT EXT. WALLS & CEILINGS) - 1/2" AT INTERIOR WALLS	SEE REFLECTED CEILING PLAN	1X3 PINE	-
			651					

5C/A101 ROOM FINISH SCHEDULE

TYPE	AREA	MATERIAL
2" EPS INSULATION - HORZ. EXTENSION	521	2" x 24" XPS RIGID INSULATION \n ALT BID: 3" x 24" \n WITH 2% SLOPE AWAY FROM BUILDING \n COVERED IN COURSE GRAVEL (NO FINES) \n COVERED WITH FILTER FABRIC
2" EPS INSULATION - UNDER SLAB	681	2" XPS RIGID INSULATION \n OVER 4" MIN. COMPACTED \n CRUSHED GRAVEL (NO FINES)
2" EPS INSULATION - UNDER SLAB - SLOPED	490	2" XPS RIGID INSULATION \n OVER 4" MIN. COMPACTED \n CRUSHED GRAVEL (NO FINES)
2" EPS INSULATION - VERTICAL - AT PERIMETER	489	GALV. SHEET METAL \n OVER 2" XPS RIGID INSULATION \n ALT BID: 3" XPS
GYP. CEILING	379	1/2" GYP. BD @ CEILING
GYP. CEILING AT ROOF	1021	R-49 BATT. INSULATION \n OVER VAPOR BARRIER \n OVER 5/8" GYP. BD.
GYP. CEILING w/ STUD	30	1/2" GYP. BD @ CEILING
TILE - 1	95	TILE - 1
TILE - 2	22	TILE - 2

5B/A101 QUANTITY TAKE-OFF - COVERINGS

TYPE	AREA	MATERIAL
CONCRETE PAVERS	318	LARGE FIELD-FORMED \n 4" CONCRETE PAVERS
CONCRETE SLAB	1386	4" CONCRETE SLAB (STAINED & SEALED) \n W/ 6"x6" WIRE MESH \n W/ RADIANT HEAT TUBS \n OVER 6 MIL VAPOR BARRIER
CORRUGATED METAL	2680	CORRUGATED GALV. ROOF \n WITH EXPOSED FASTENERS \n OVER 30LB FELT UNDERLAYMENT \n OVER 1/2" CDX (PAINTED AT EXTERIOR) \n CONT. VENT AT RIDGE
CORRUGATED METAL - BUTYL	94	CORRUGATED GALV. ROOF (BUTYL AT SEAMS) \n WITH EXPOSED FASTENERS \n OVER 30LB FELT UNDERLAYMENT \n 1/2" SLOPE
CORRUGATED METAL AT OVERHANGS	184	CORRUGATED GALV. ROOF \n WITH EXPOSED FASTENERS
FLOOR OSB	635	3/4" OSB
T1-11	389	5/8" T1-11 (ABOVE DINING/LIVING ROOM) \n 3/4" OSB AT OTHER AREAS

5B/A101 QUANTITY TAKE-OFF - SLABS

TYPE	DESCRIPTION	AREA
E-BAT-F	EXTERIOR - BATTEN BOARD SIDING (FIELD)	1802
E-BAT-U	EXTERIOR - BATTEN BOARD SIDING (UPPER)	684
E-CORR-D	EXTERIOR - CORRUGATED METAL - DARK	689
E-CORR-L	EXTERIOR - CORRUGATED METAL - LIGHT	302
I-2X4	INTERIOR - 2X4 - NOT LOAD BEARING	610
I-2X6	INTERIOR - 2X6 - NOT LOAD BEARING	126
I-2X6-LB	INTERIOR - 2X6 - LOAD BEARING	309

5A/A101 QUANTITY TAKE-OFF - WALLS

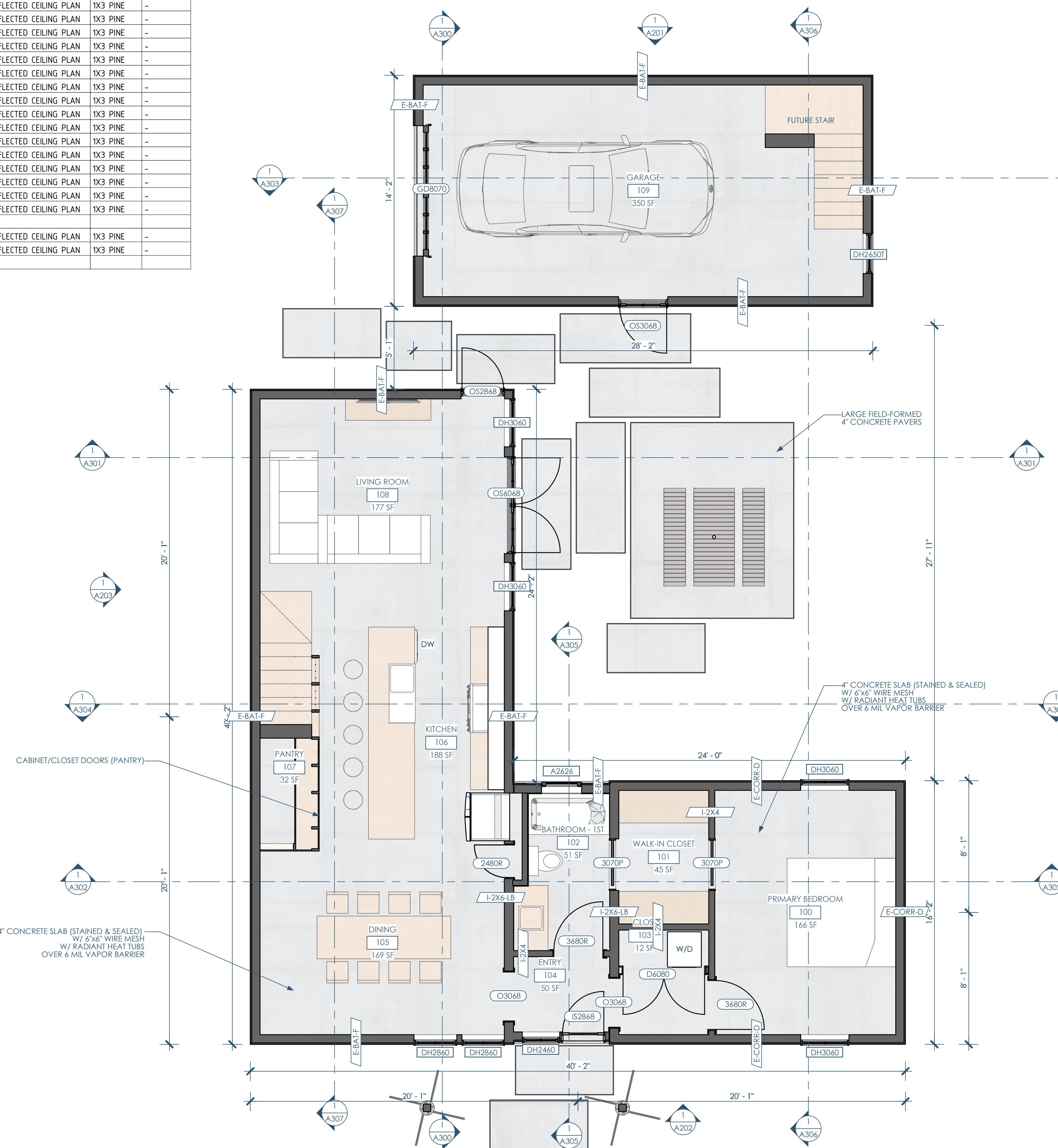
TYPE MARK	TYPE	COUNT
2480R	SINGLE SWING DOOR	1
3070P	POCKET DOOR	2
3680L	SINGLE SWING DOOR	2
3680R	SINGLE SWING DOOR	4
ATTIC	TRAPDOOR ATTIC ACCESS PANELS	1
D6080	DOUBLE SWING DOOR	1
GD8070	GARAGE DOOR - CARRIAGE HOUSE STYLE	1
IS2868	FRONT DOOR	1
O3068	OPENING - TRIM ONLY	2
OS2868	OUTSWING PATIO DOOR	1
OS3068	OUTSWING DOOR AT GARAGE	1
OS6068	OUTSWING PATIO DOUBLE DOOR	1
S7280	DOUBLE SWING DOOR	2

5A/A101 DOOR SCHEDULE - SIMPLE

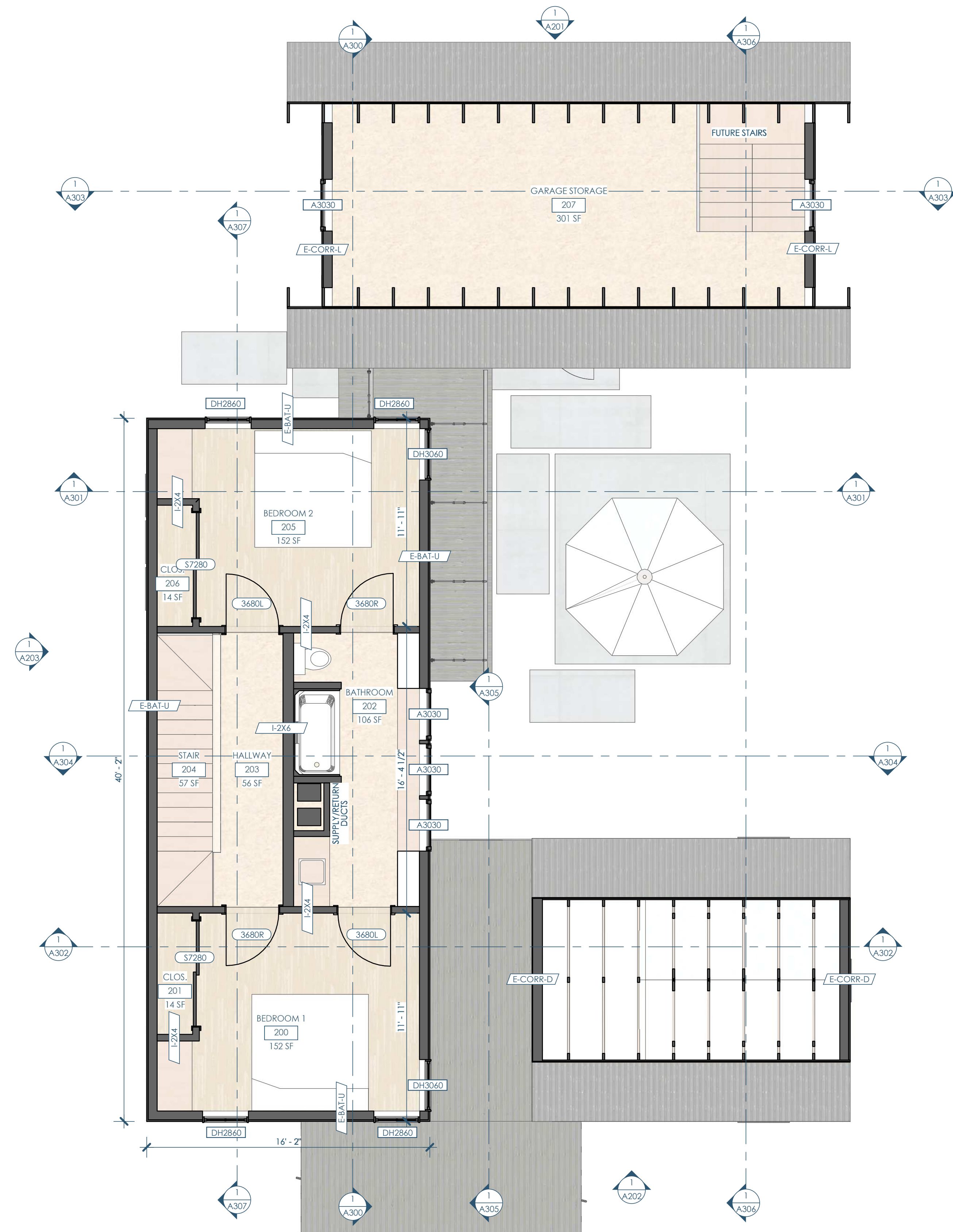
TYPE MARK	TYPE	COUNT
A2626	AWING - 29-1/2" x 29-1/2"	5
A3030	AWING - 35-1/2" x 35-1/2"	5
DH2460	DOUBLE HUNG - 27-1/2" x 71-1/2"	1
DH2650T	DOUBLE HUNG - 29-1/2" x 59-1/2"	1
DH2860	DOUBLE HUNG - 31-1/2" x 71-1/2"	6
DH3060	DOUBLE HUNG - 35-1/2" x 71-1/2"	6

4A/A101 WINDOW SCHEDULE - SIMPLE

3A/A101 FLOOR PLAN - 1ST
1/4"=1'-0"



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3A/A102 FLOOR PLAN - 2ND
1/4"=1'-0"

FLOOR PLAN - 2ND 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A102



Architect: Opening Design
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

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5

4

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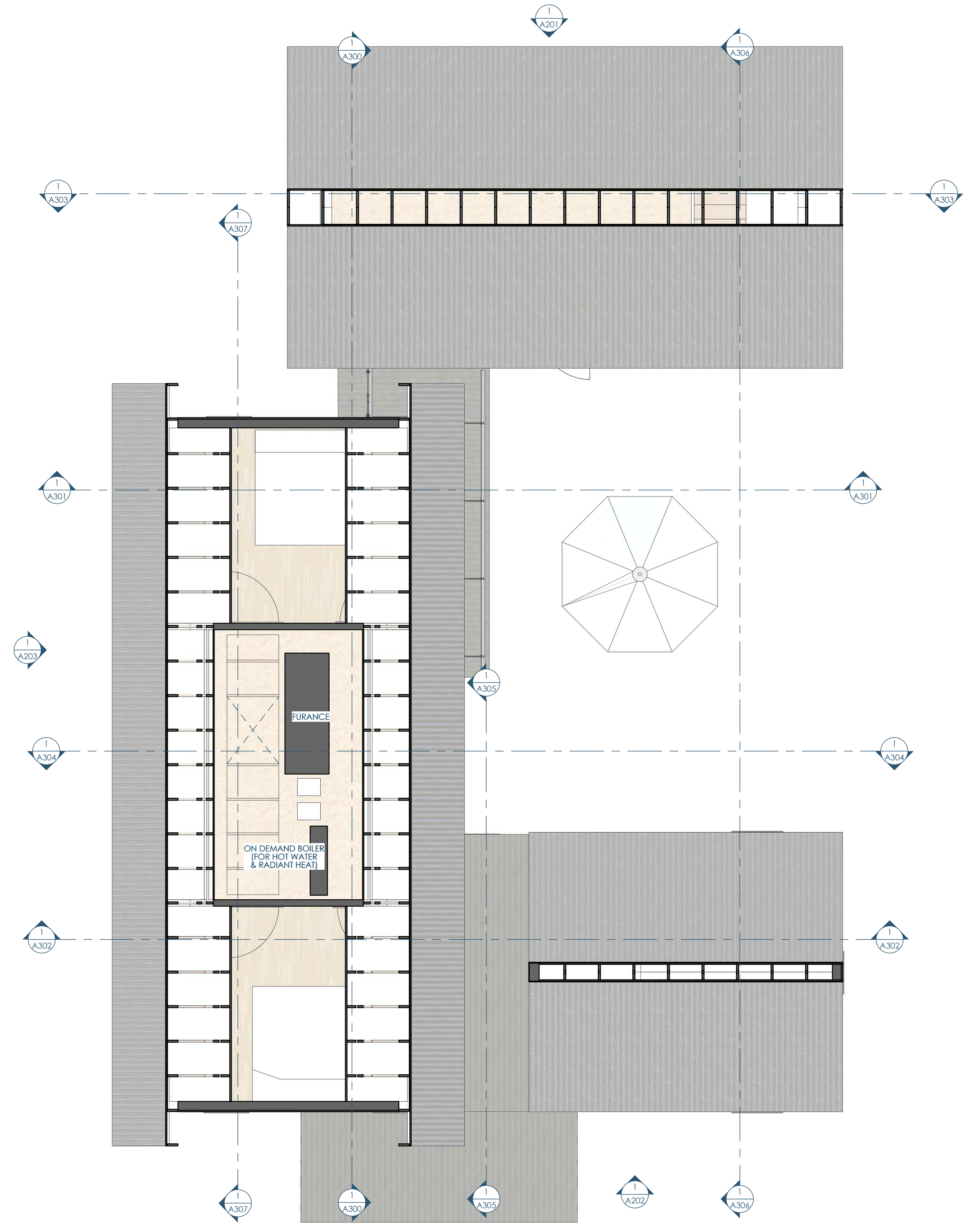
2

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3A/A103 FLOOR PLAN - ATTIC
1/4"=1'-0"



Architect: OpeningDesign
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

FLOOR PLAN - ATTIC 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A103

5

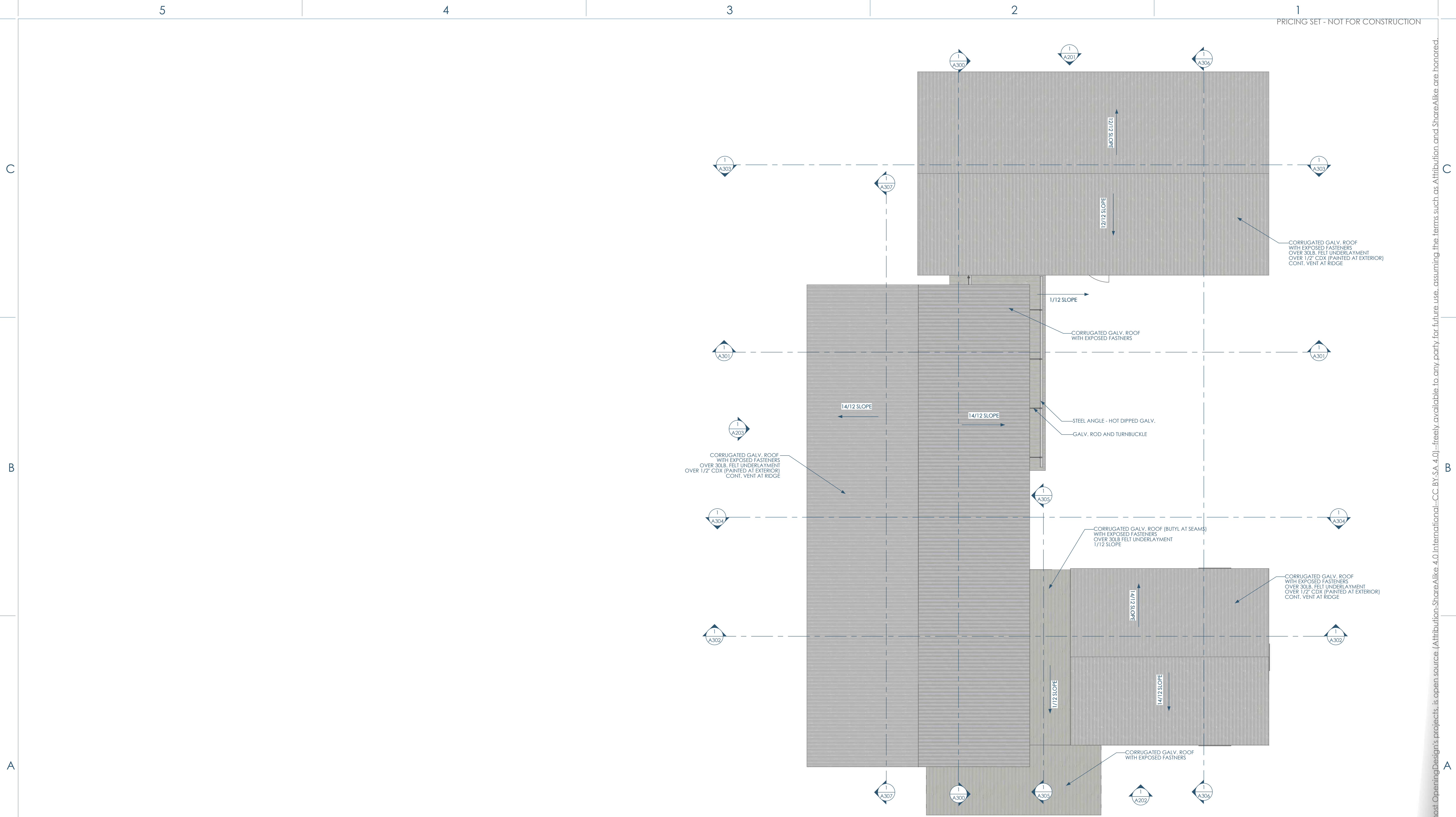
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1

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3A/A104 FLOOR PLAN - ROOF
1/4"=1'-0"



Architect: Opening Design
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

FLOOR PLAN - ROOF 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A104

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PRICING SET - NOT FOR CONSTRUCTION

C

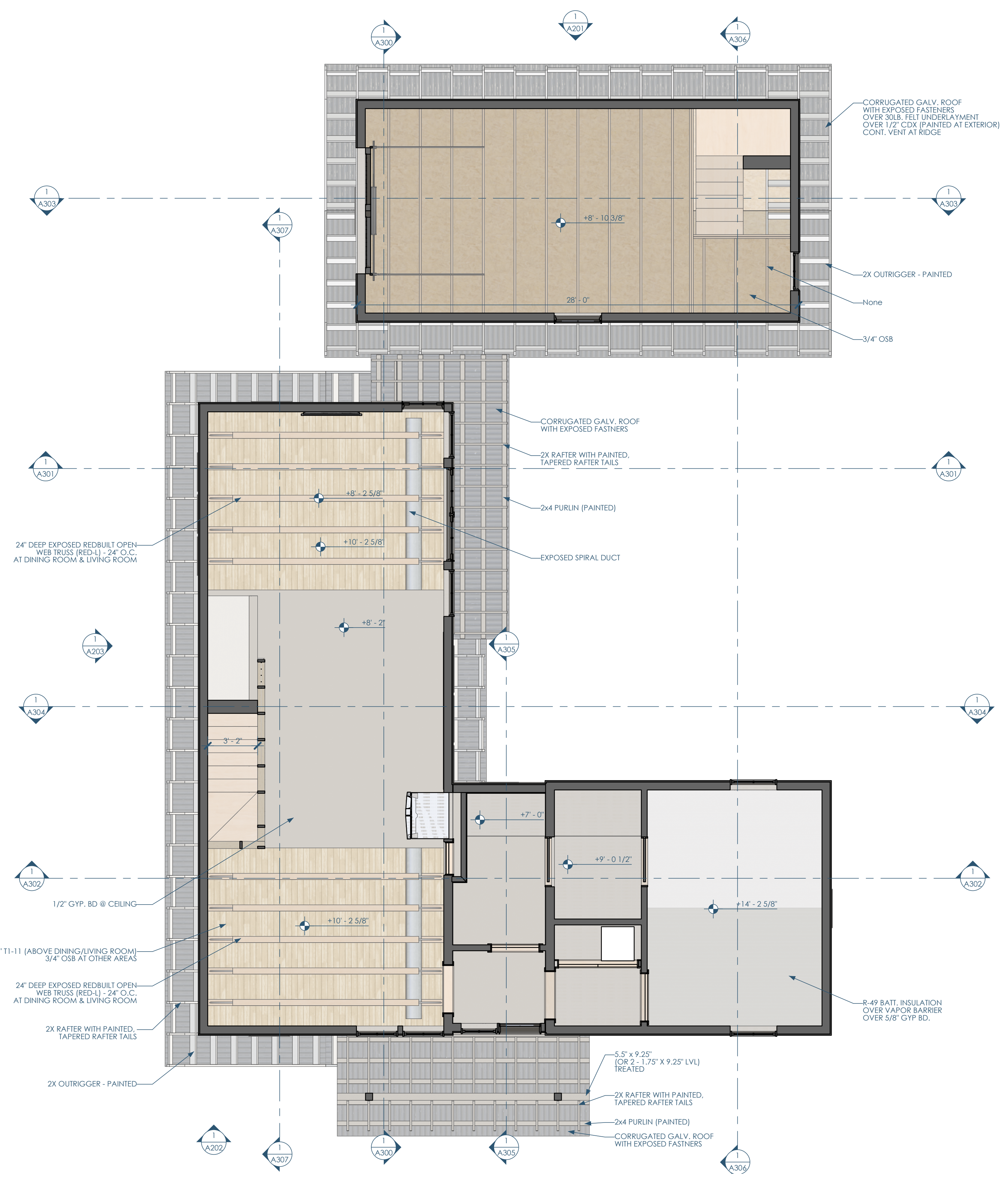
C

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3A/A151 1ST FLOOR RCP
1/4"=1'-0"

REFLECTED CEILING PLAN - 1ST 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A151



Architect: Opening Design
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

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3A/A152 2ND FLOOR RCP
1/4"=1'-0"

REFLECTED CEILING PLAN - 2ND 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A152



Architect: Opening Design
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

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1/A200 ELEVATION - EAST
3/8"=1'-0"



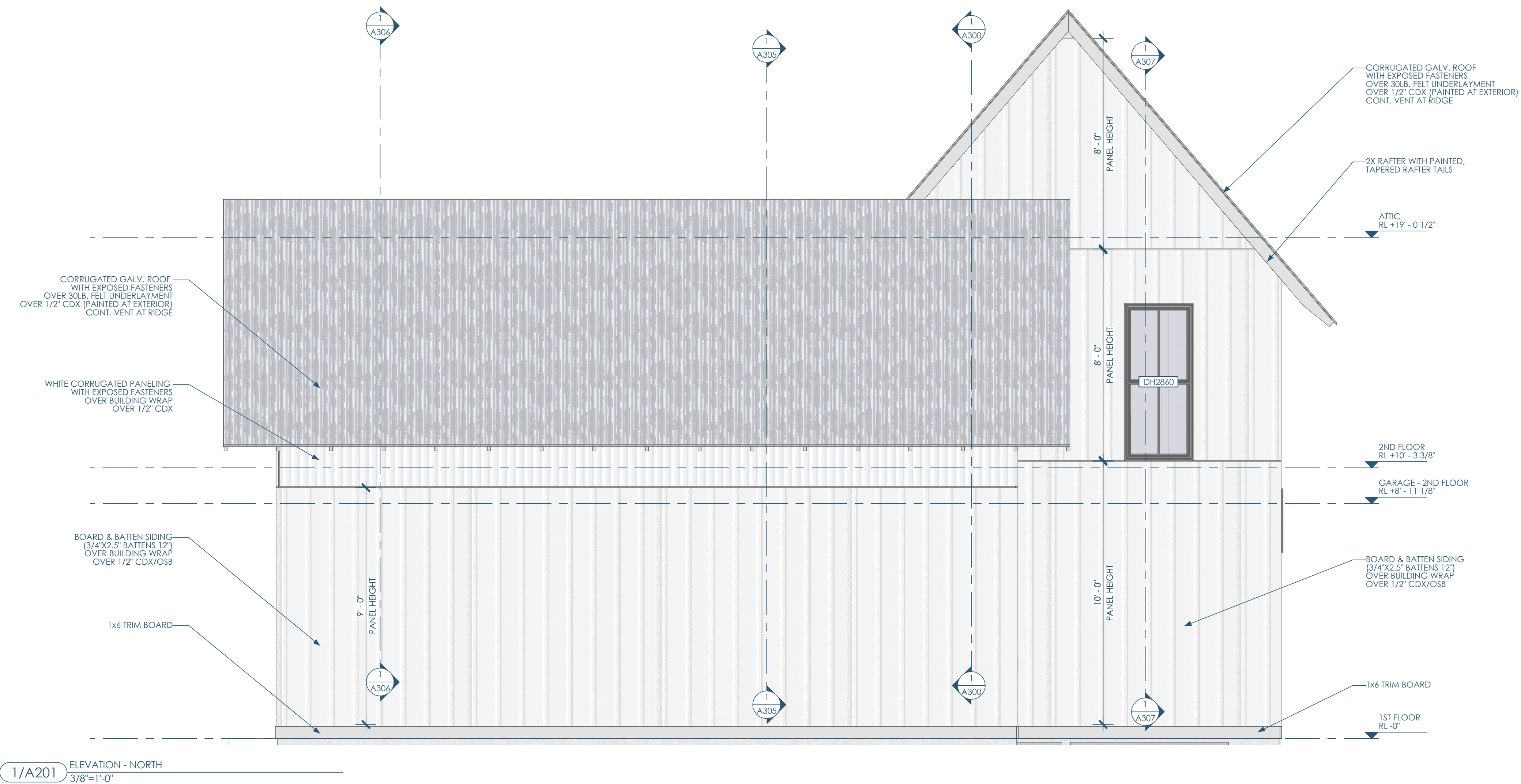
Architect: Opening Design
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

ELEVATION - EAST 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A200

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17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

ELEVATION - NORTH 04/02/2024
HIGHLAND HAVEN
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A201

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5

4

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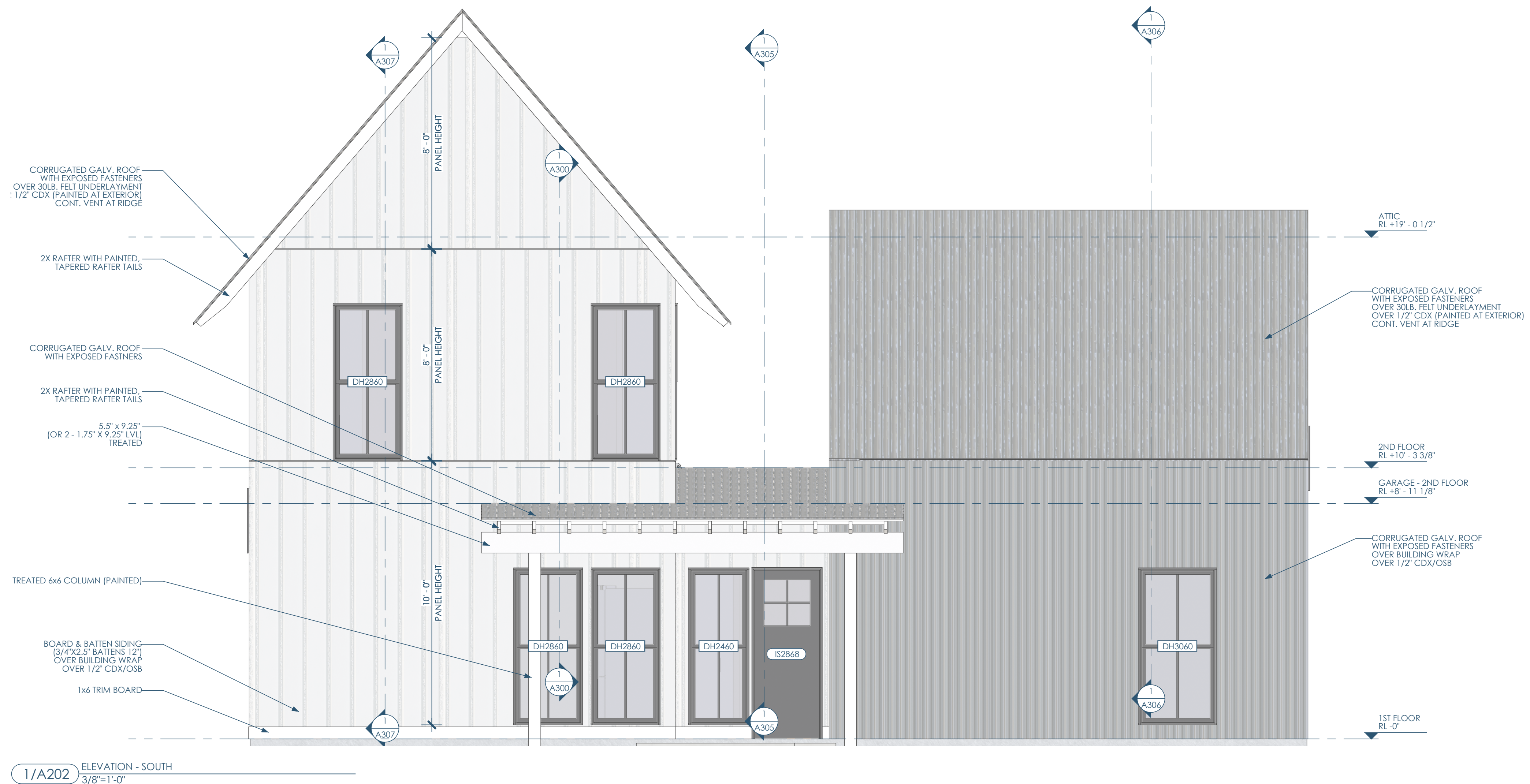
2

1

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B

A



1/A202 ELEVATION - SOUTH
3/8"=1'-0"



Architect: OpeningDesign
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

ELEVATION - SOUTH 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A202

5

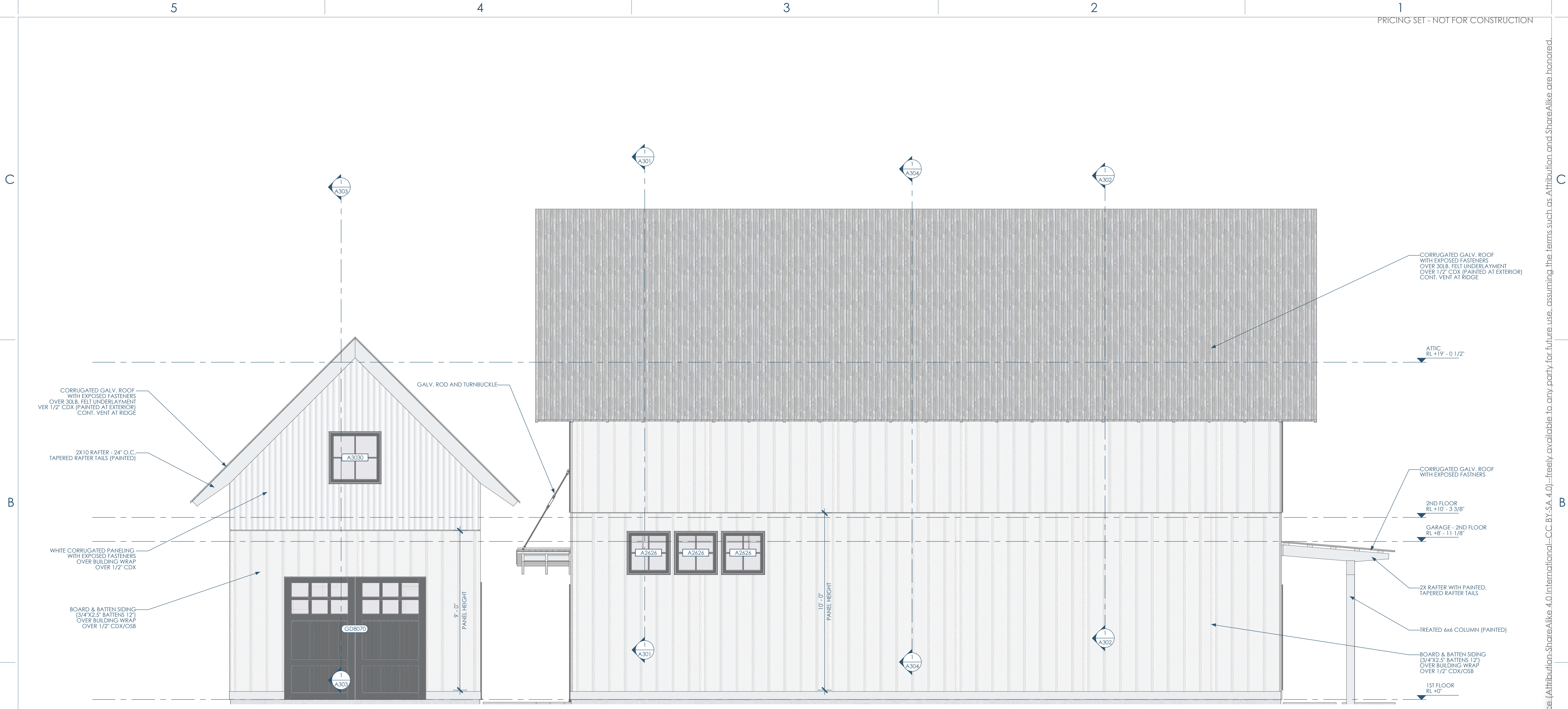
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1

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1/A203 ELEVATION - WEST
3/8"=1'-0"



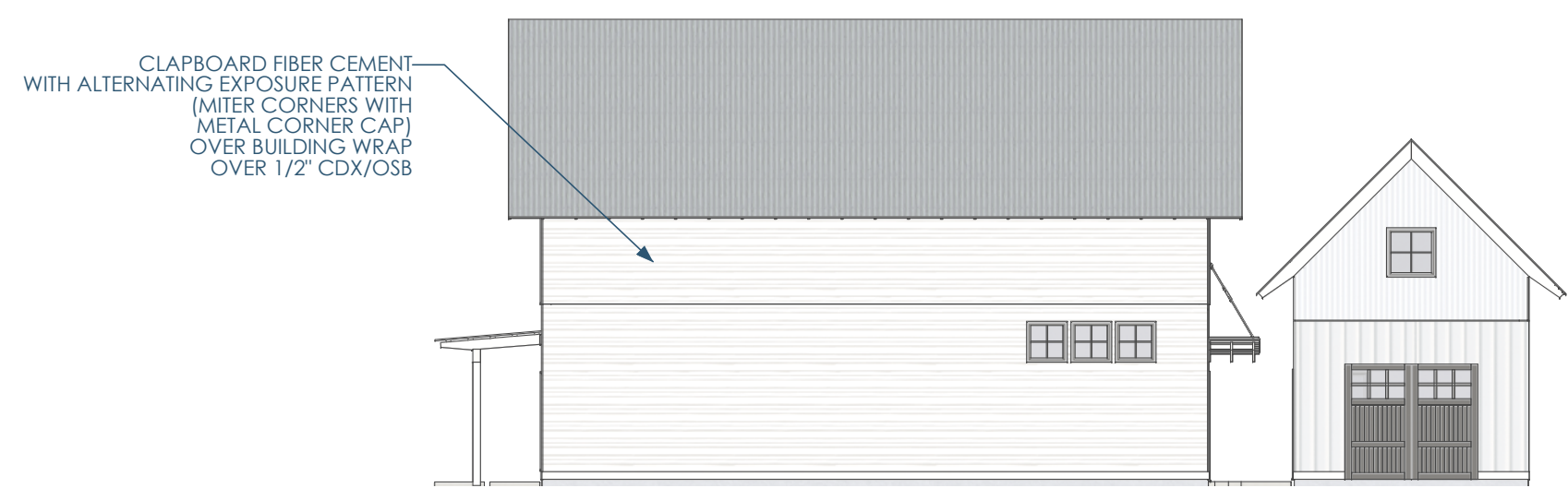
Architect: Opening Design
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

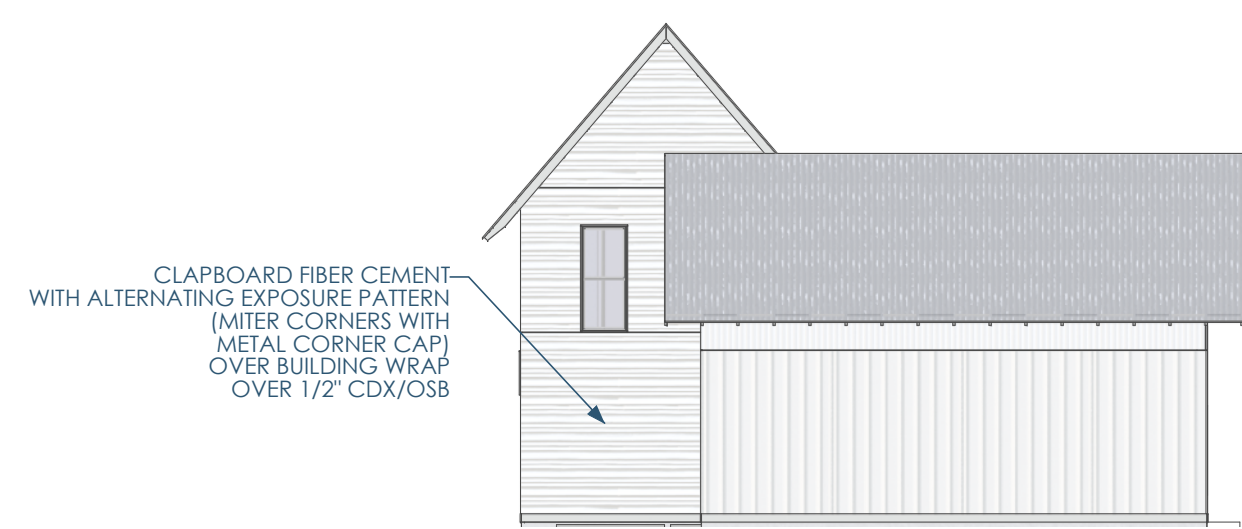
ELEVATION - WEST 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A203

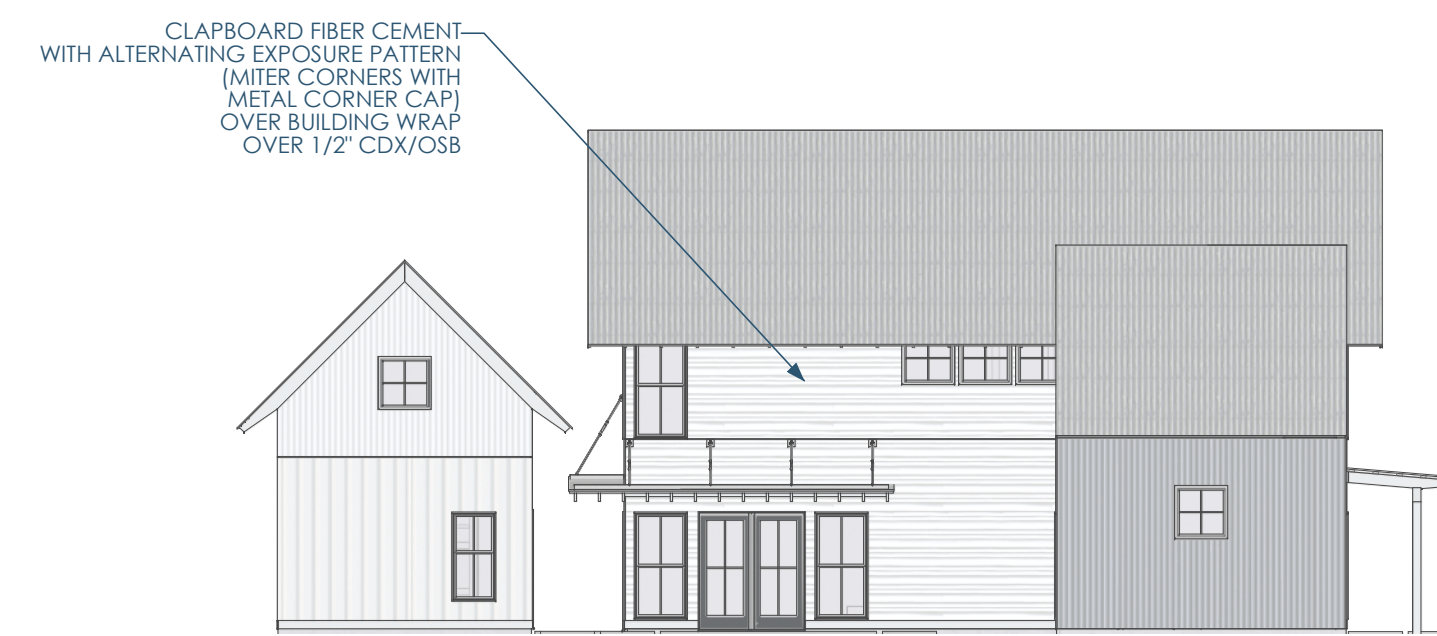
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5C/A250 RR - ELEVATION - EAST
3/32"=1'-0"



4C/A250 RR - ELEVATION - NORTH
3/32"=1'-0"



3C/A250 RR - ELEVATION - WEST
3/32"=1'-0"



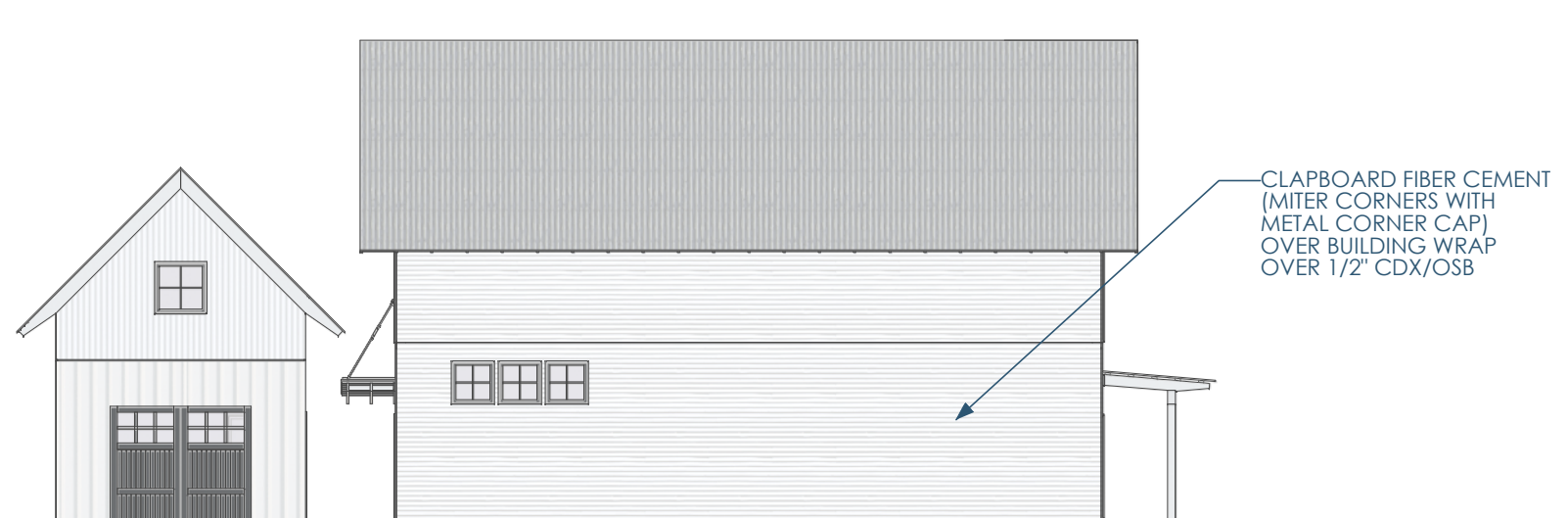
2C/A250 RR - ELEVATION - SOUTH
3/32"=1'-0"



5B/A250 LL - ELEVATION - EAST
3/32"=1'-0"



4B/A250 LL - ELEVATION - NORTH
3/32"=1'-0"



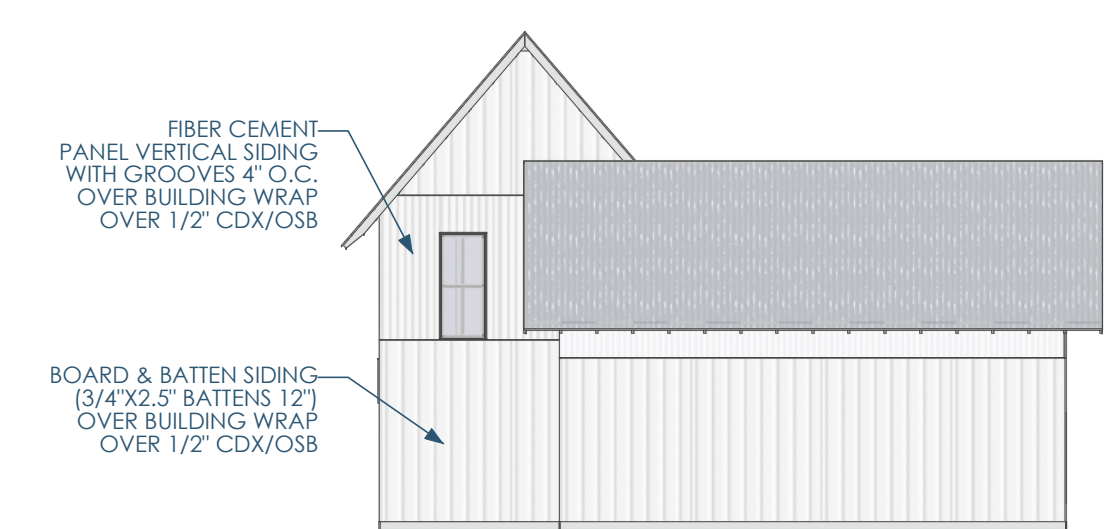
3B/A250 LL - ELEVATION - WEST
3/32"=1'-0"



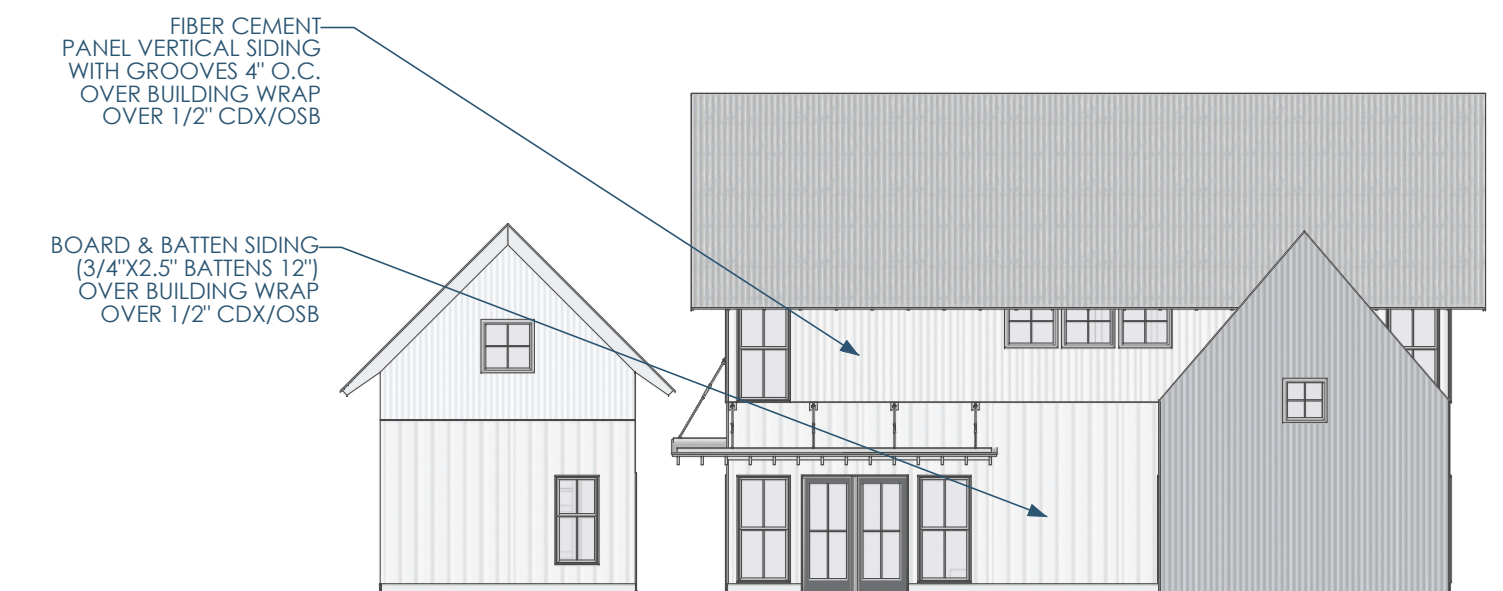
2B/A250 LL - ELEVATION - SOUTH
3/32"=1'-0"



5A/A250 R - ELEVATION - EAST
3/32"=1'-0"



4A/A250 R - ELEVATION - NORTH
3/32"=1'-0"



3A/A250 R - ELEVATION - WEST
3/32"=1'-0"



2A/A250 R - ELEVATION - SOUTH
3/32"=1'-0"

SEE SHEETS A200-A203 FOR 'L ELEVATIONS'
AND SEE SHEET A250 FOR OVERALL SITE ELEVATIONS



Architect: OpeningDesign
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456



GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

OTHER ELEVATIONS 04/02/2024
HIGHLAND HAVEN

N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A250

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1/A251 ELEVATION - EAST - COURTYARD - OVERALL
3/32"=1'-0"



2/A251 ELEVATION - EAST - STREET - OVERALL
3/32"=1'-0"



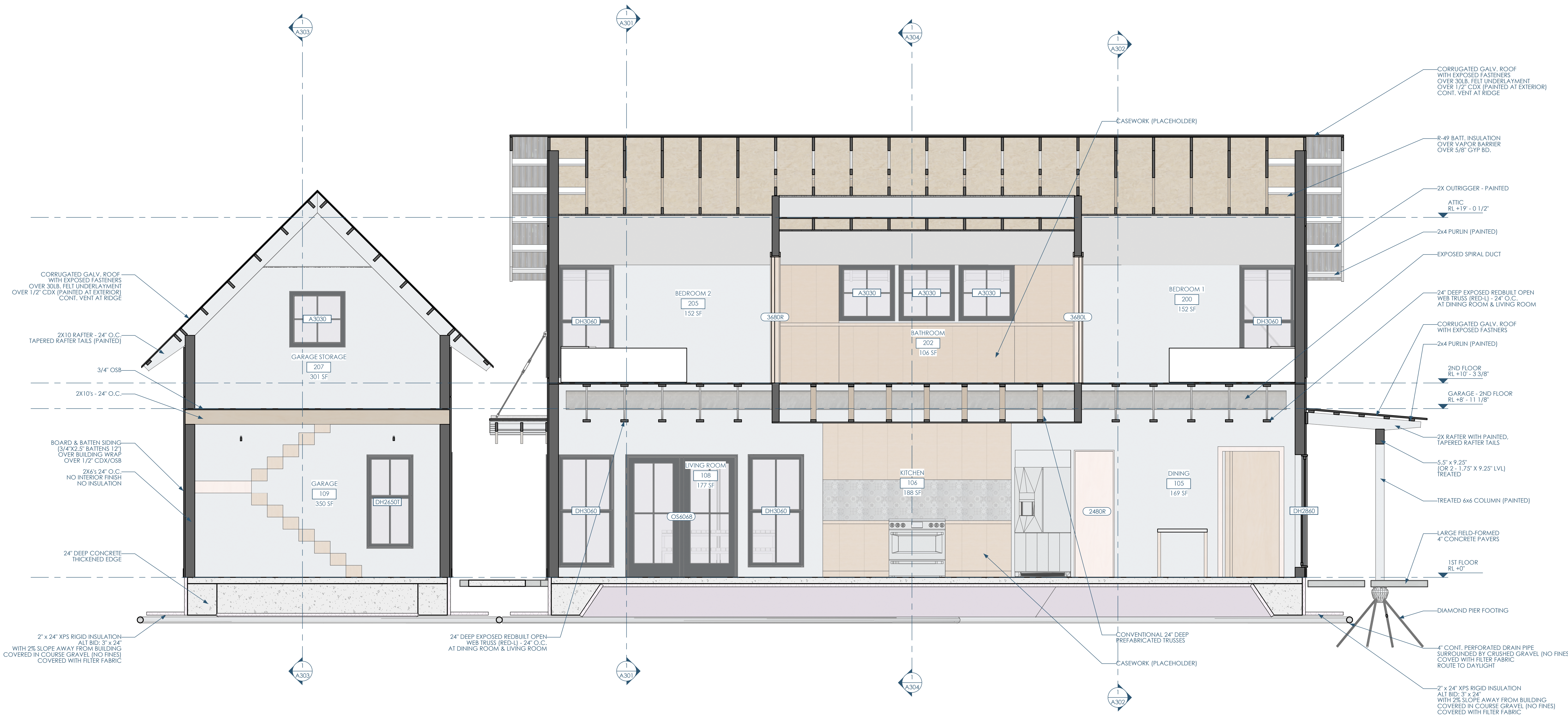
Architect: OpeningDesign
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

ELEVATIONS - OVERALL 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

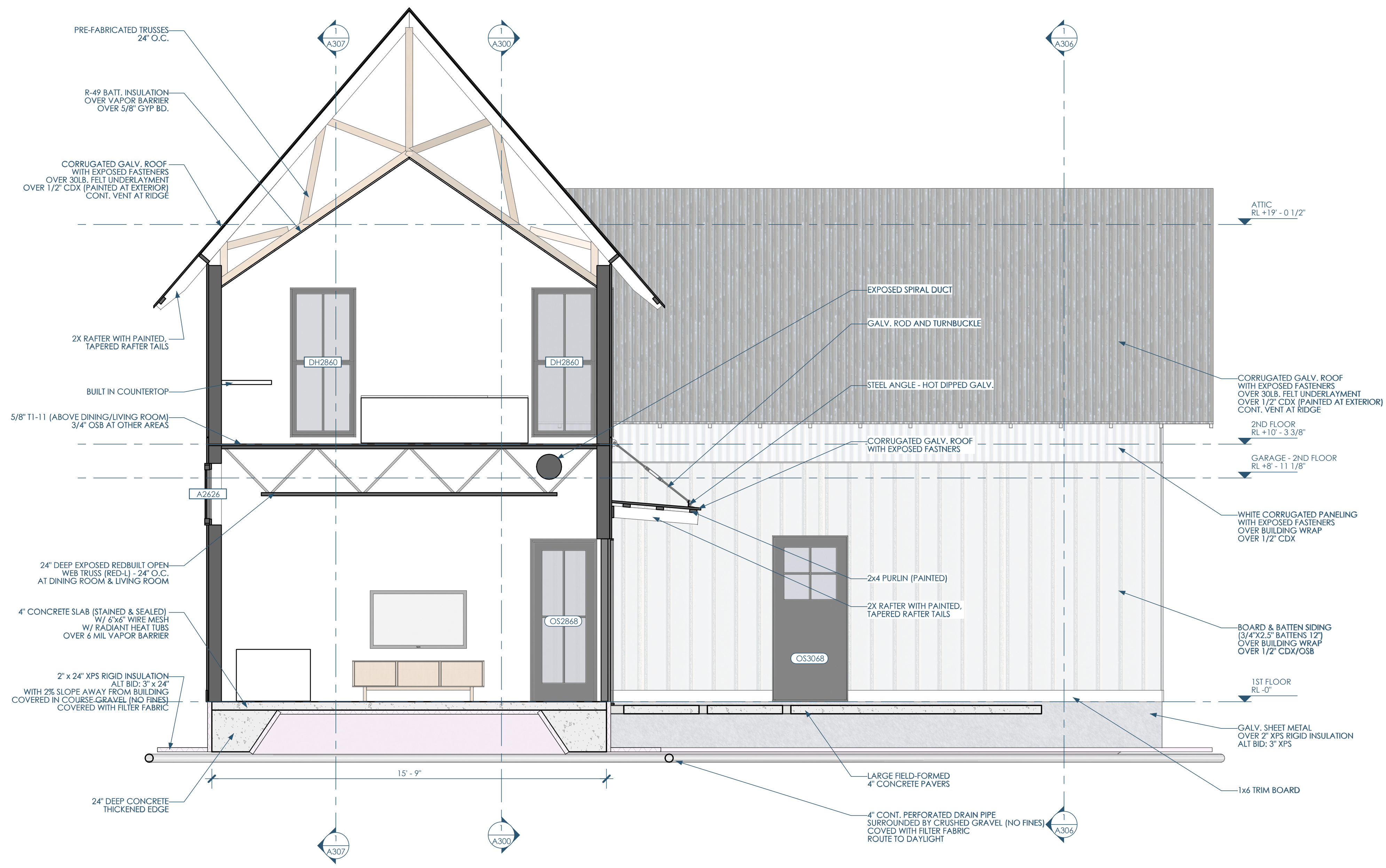
A251

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1/A300 SECTION - EAST - KITCHEN
3/8"=1'-0"

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1/A301 SECTION - NORTH - KITCHEN
3/8"=1'-0"



Architect: Opening Design
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

SECTION - NORTH - KITCHEN 04/02/2024
HIGHLAND HAVEN
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A301

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5

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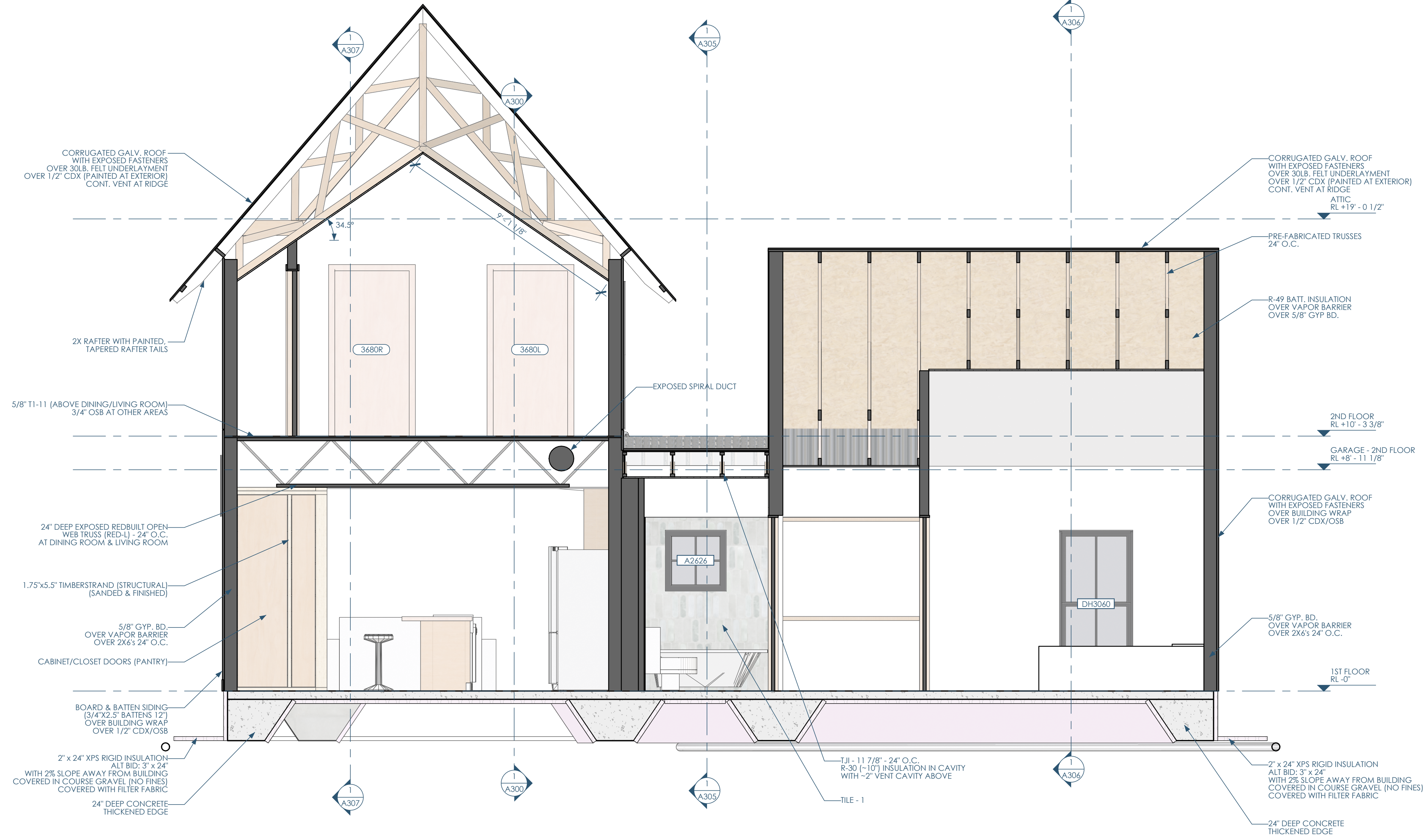
2

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1/A302 SECTION - NORTH - PRIMARY
3/8"=1'-0"



Architect: OpeningDesign
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

SECTION - NORTH - PRIMARY 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A302

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5

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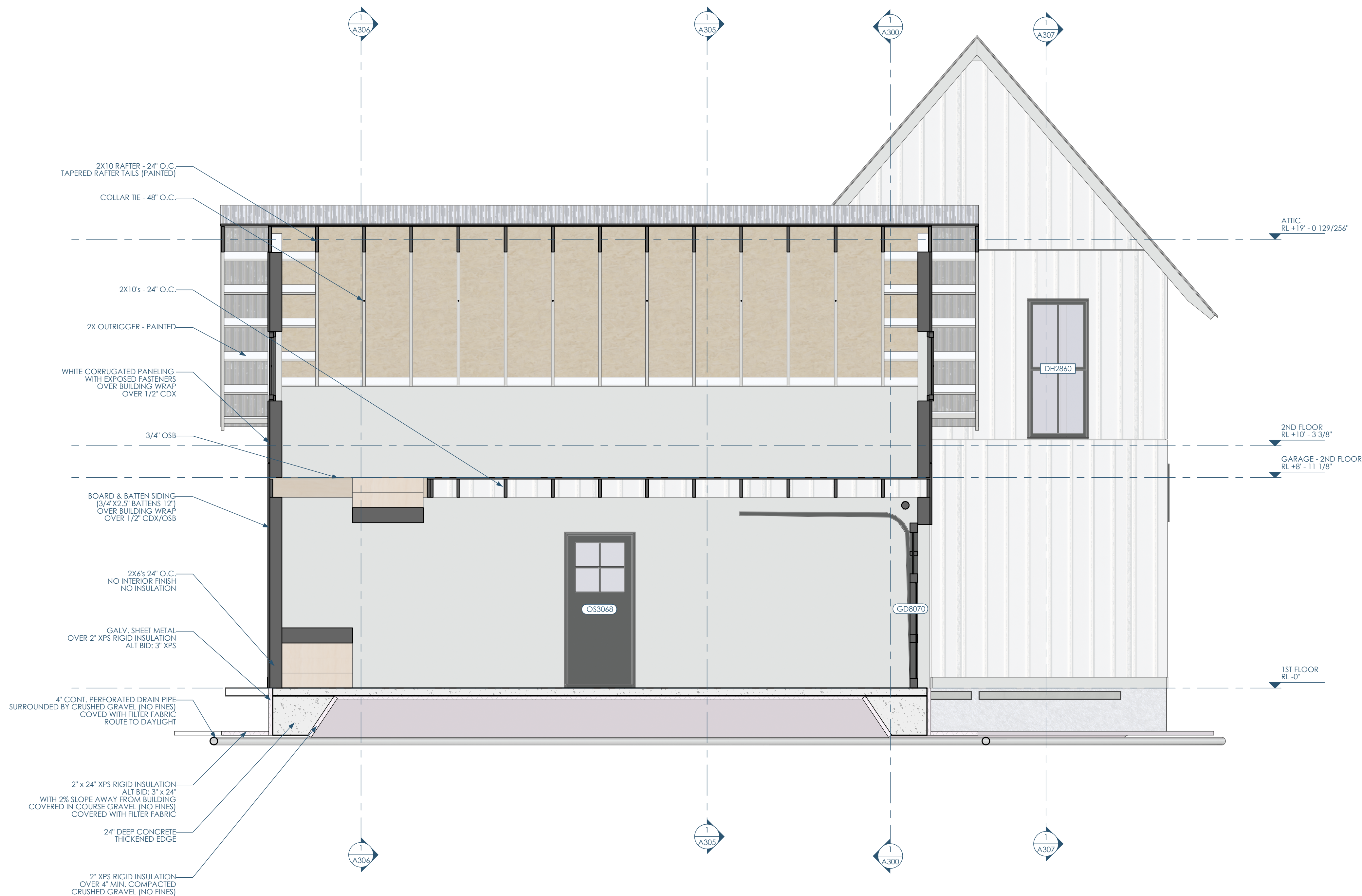
2

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1/A303 SECTION - SOUTH - GARAGE
3/8"=1'-0"



Architect: Opening Design
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

SECTION - SOUTH - GARAGE 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A303

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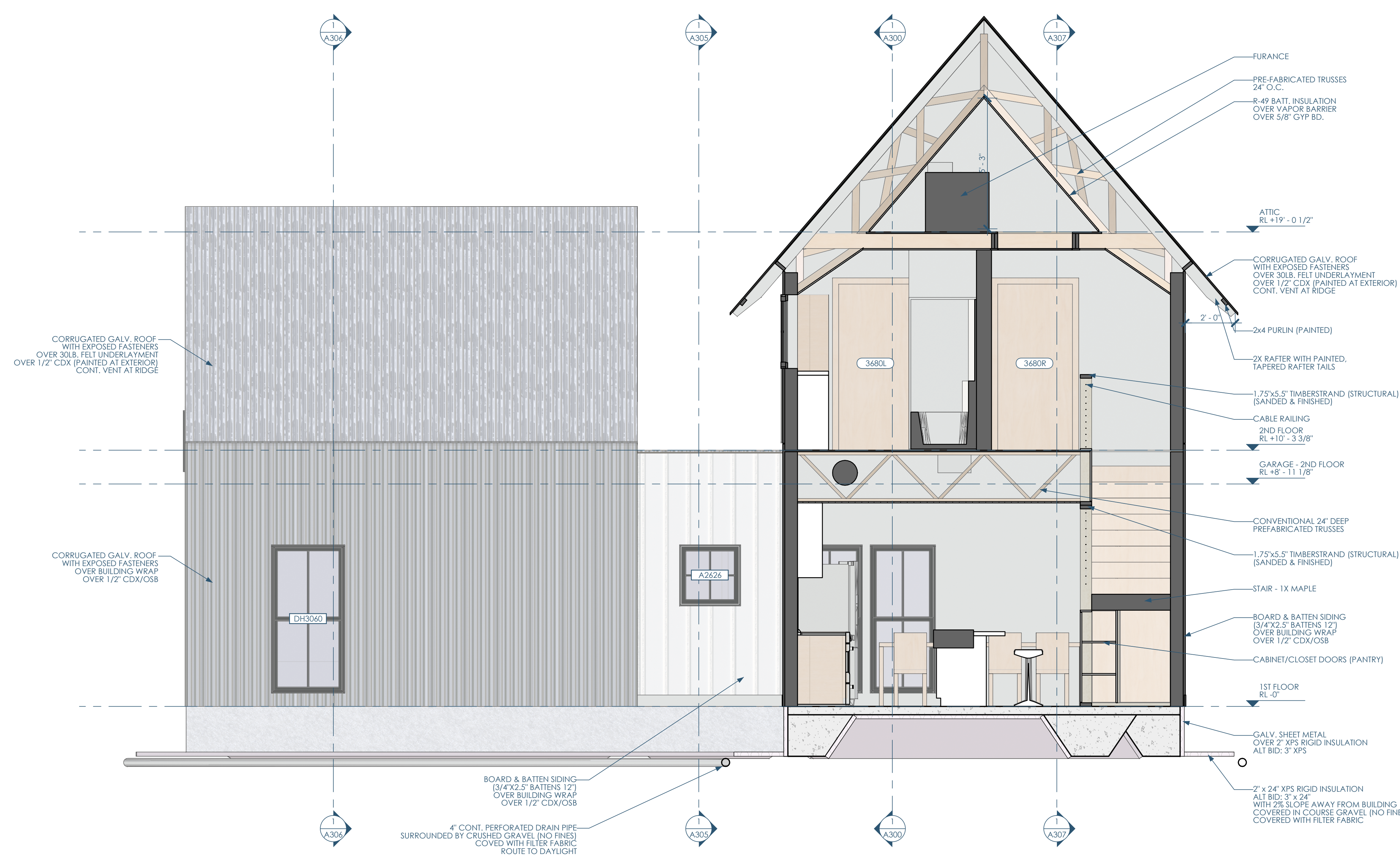
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C

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1/A304 SECTION - SOUTH - KITCHEN
3/8"=1'-0"

- FURANCE
- PRE-FABRICATED TRUSSES 24" O.C.
- R-49 BATT. INSULATION OVER VAPOR BARRIER OVER 5/8" GYP BD.
- ATTIC RL +19' - 0 1/2"
- CORRUGATED GALV. ROOF WITH EXPOSED FASTENERS OVER 30LB. FELT UNDERLAYMENT OVER 1/2" CDX (PAINTED AT EXTERIOR) CONT. VENT AT RIDGE
- 2" - 0"
- 2x4 FURLIN (PAINTED)
- 2x RAFTER WITH PAINTED, TAPERED RAFTER TAILS
- 1.75"x5.5" TIMBERSTRAND (STRUCTURAL) (SANDED & FINISHED)
- CABLE RAILING
- 2ND FLOOR RL +10' - 3 3/8"
- GARAGE - 2ND FLOOR RL +8' - 11 1/8"
- CONVENTIONAL 24" DEEP PREFABRICATED TRUSSES
- 1.75"x5.5" TIMBERSTRAND (STRUCTURAL) (SANDED & FINISHED)
- STAIR - 1X MAPLE
- BOARD & BATTEN SIDING (3/4"x2.5" BATTENS 12") OVER BUILDING WRAP OVER 1/2" CDX/OSB
- CABINET/CLOSET DOORS (PANTRY)
- 1ST FLOOR RL -0"
- GALV. SHEET METAL OVER 2" XPS RIGID INSULATION ALT BID: 3" XPS
- 2" x 24" XPS RIGID INSULATION ALT BID: 3" x 24" WITH 2% SLOPE AWAY FROM BUILDING COVERED IN COURSE GRAVEL (NO FINES) COVERED WITH FILTER FABRIC

CORRUGATED GALV. ROOF WITH EXPOSED FASTENERS OVER 30LB. FELT UNDERLAYMENT OVER 1/2" CDX (PAINTED AT EXTERIOR) CONT. VENT AT RIDGE

CORRUGATED GALV. ROOF WITH EXPOSED FASTENERS OVER BUILDING WRAP OVER 1/2" CDX/OSB

BOARD & BATTEN SIDING (3/4"x2.5" BATTENS 12") OVER BUILDING WRAP OVER 1/2" CDX/OSB

4" CONT. PERFORATED DRAIN PIPE SURROUNDED BY CRUSHED GRAVEL (NO FINES) COVERED WITH FILTER FABRIC ROUTE TO DAYLIGHT



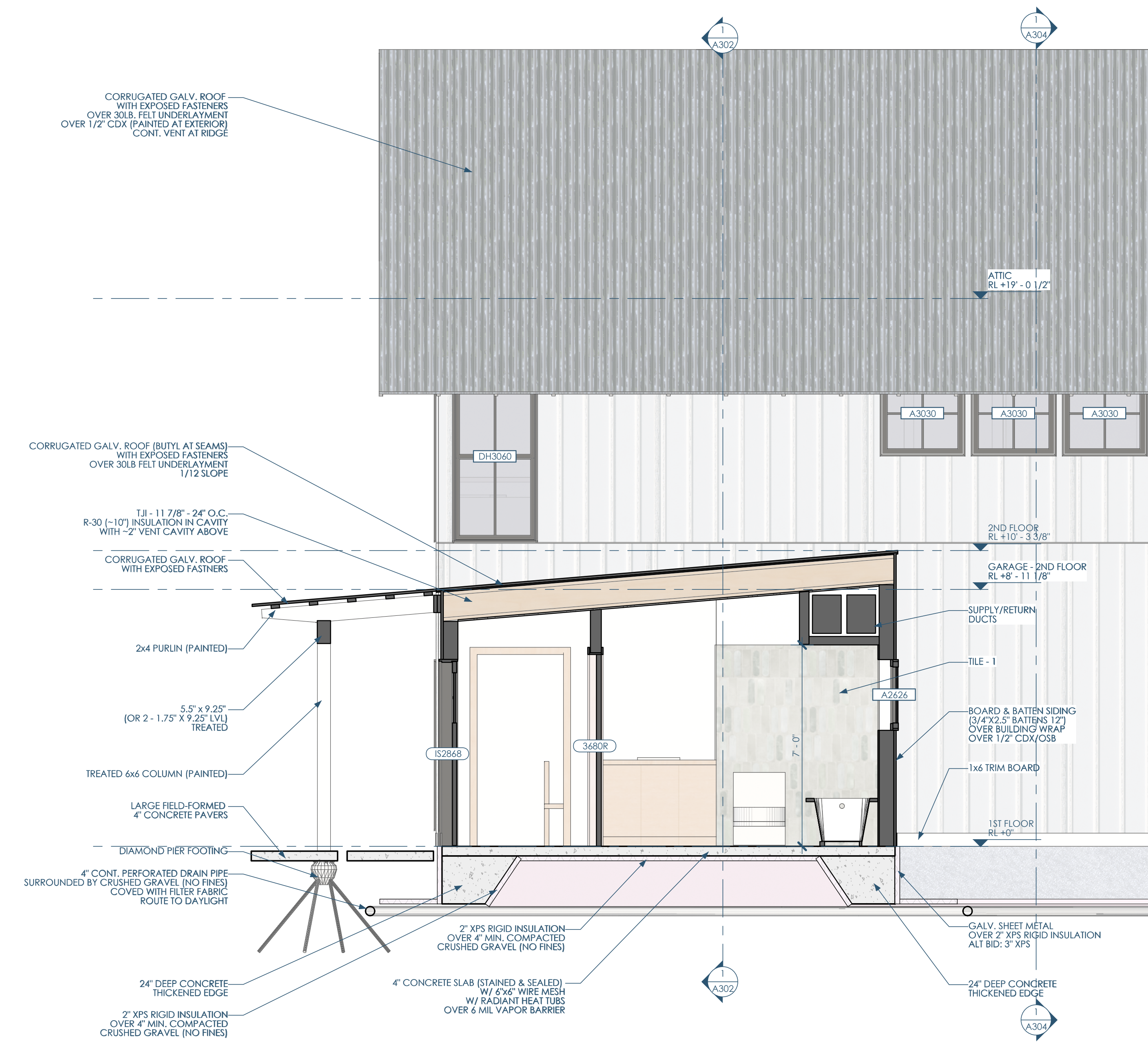
Architect: OpeningDesign
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

SECTION - SOUTH - KITCHEN 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

A304

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1/A305 SECTION - WEST - ENTRY
3/8"=1'-0"



Architect: Opening Design
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

SECTION - WEST - ENTRY 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

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1/A306 SECTION - WEST - GARAGE
3/8"=1'-0"



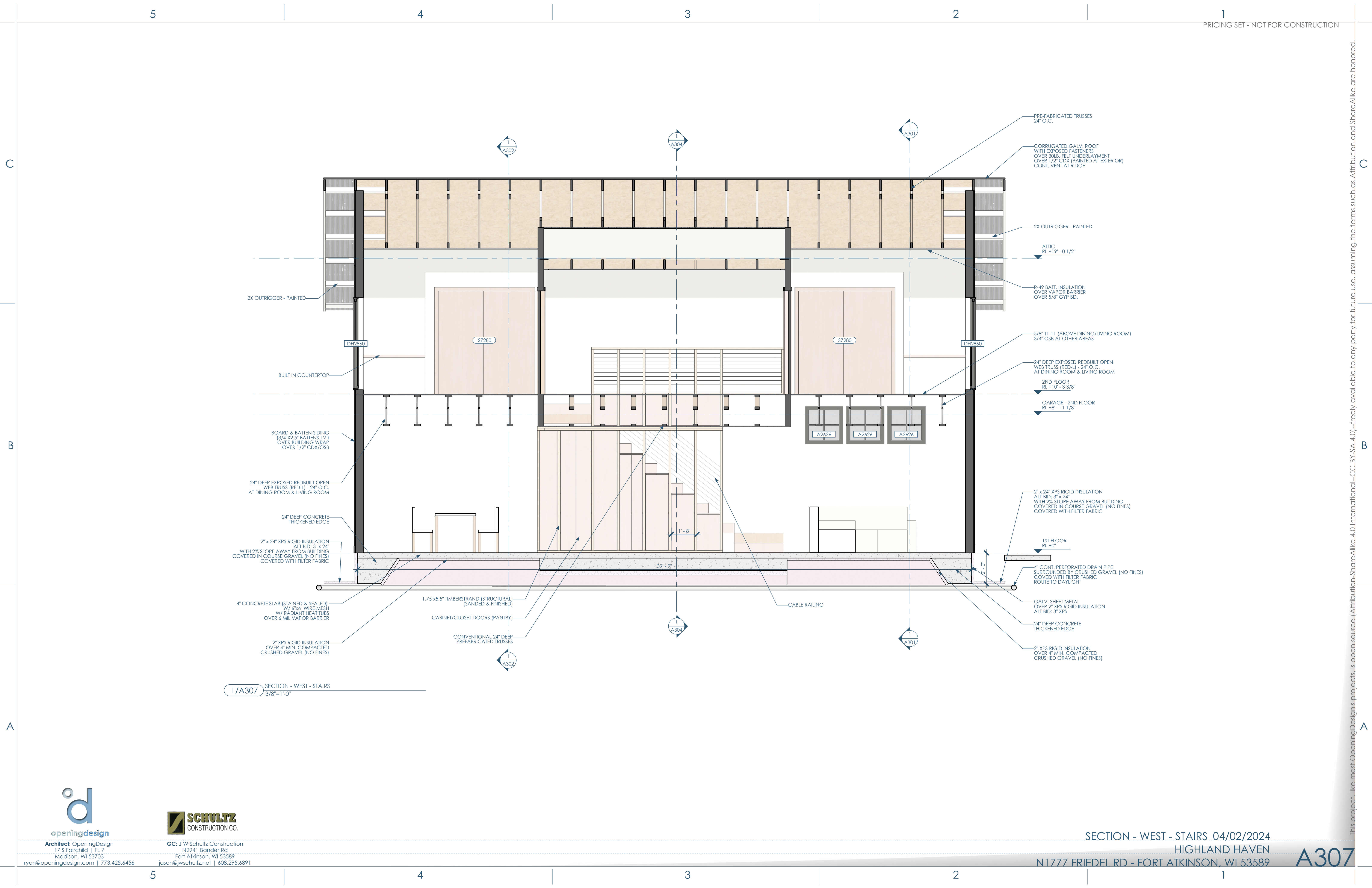
Architect: OpeningDesign
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

SECTION - WEST - GARAGE 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

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1/A307 SECTION - WEST - STAIRS
3/8"=1'-0"



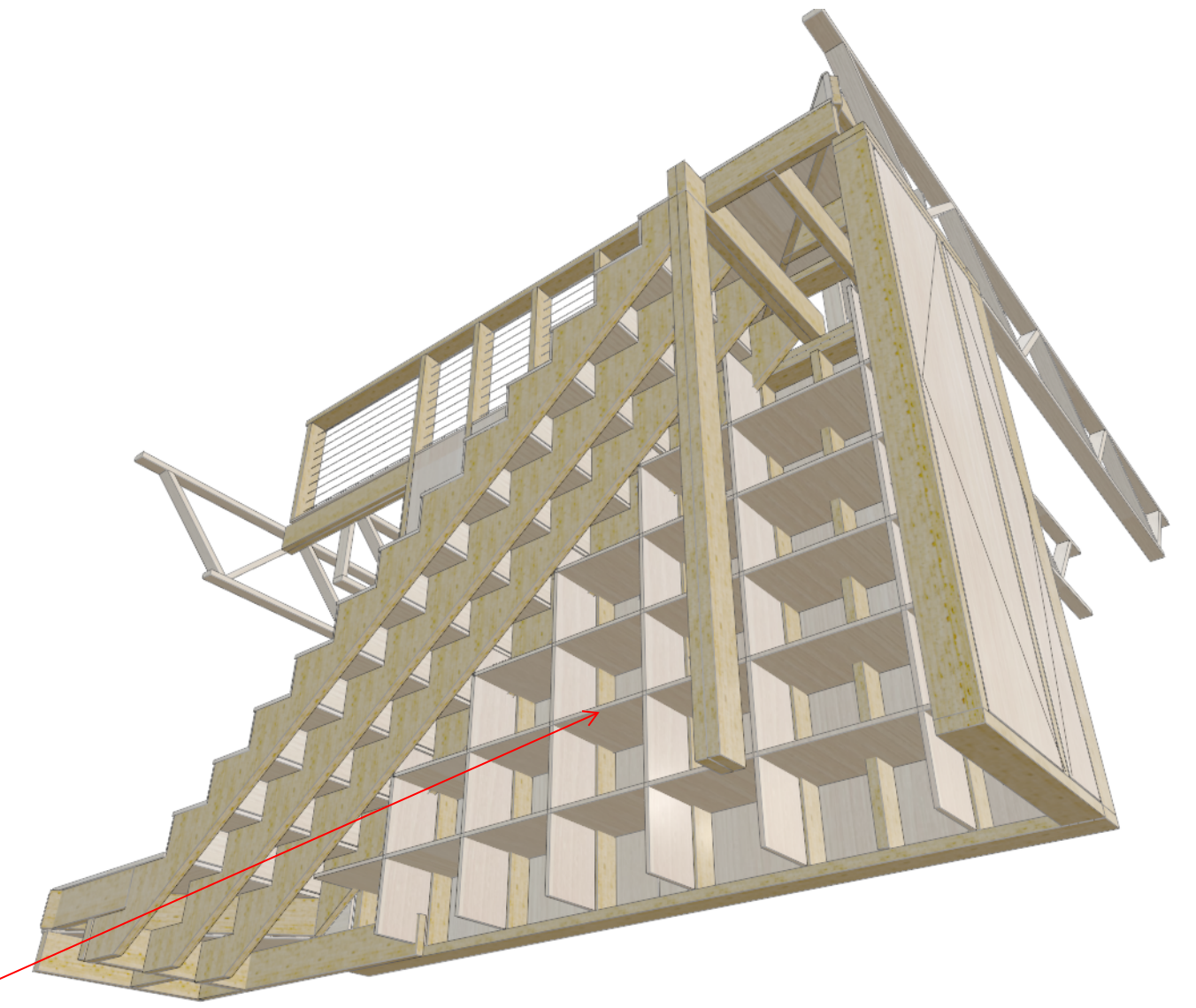
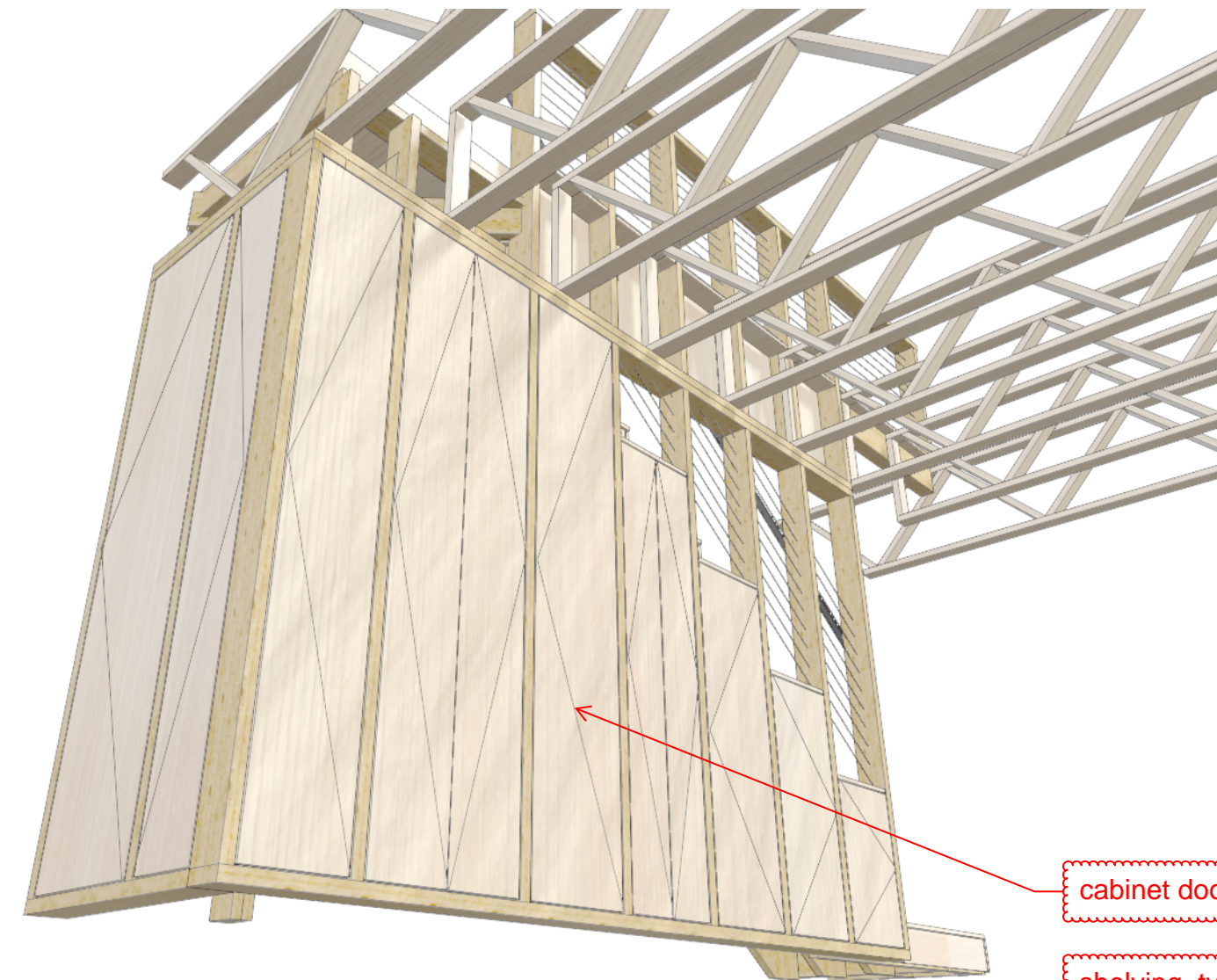
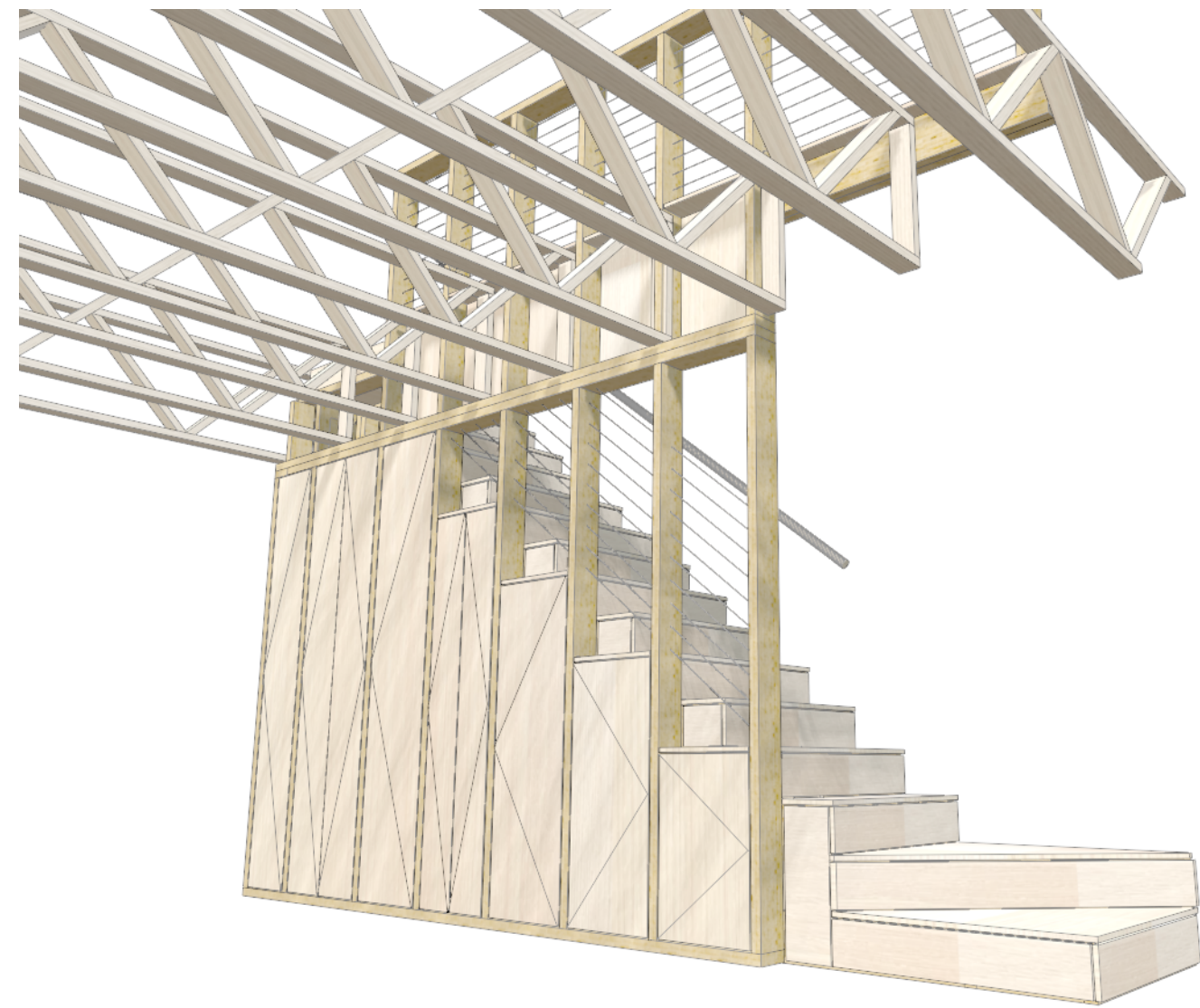
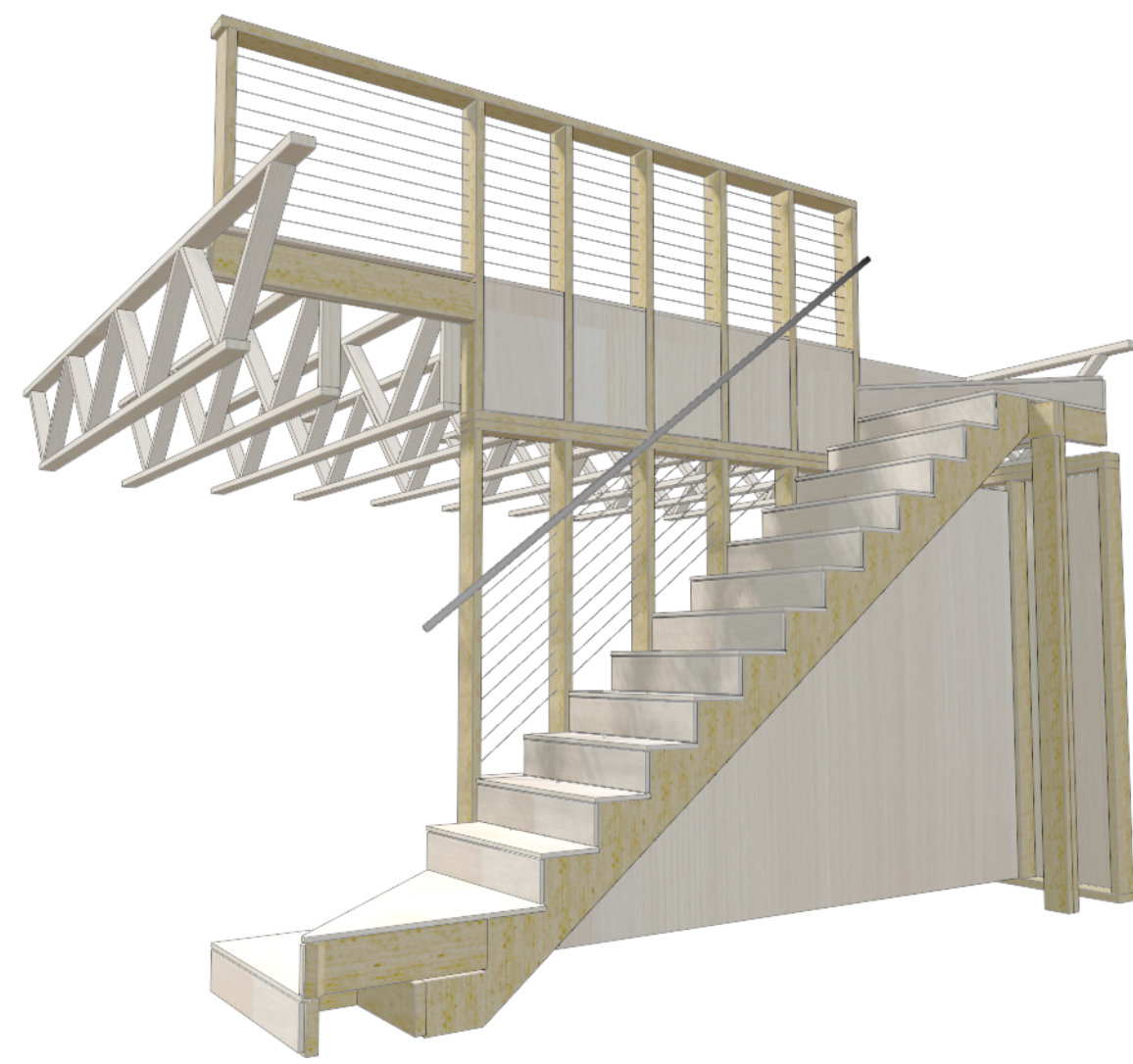
Architect: OpeningDesign
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

SECTION - WEST - STAIRS 04/02/2024
HIGHLAND HAVEN
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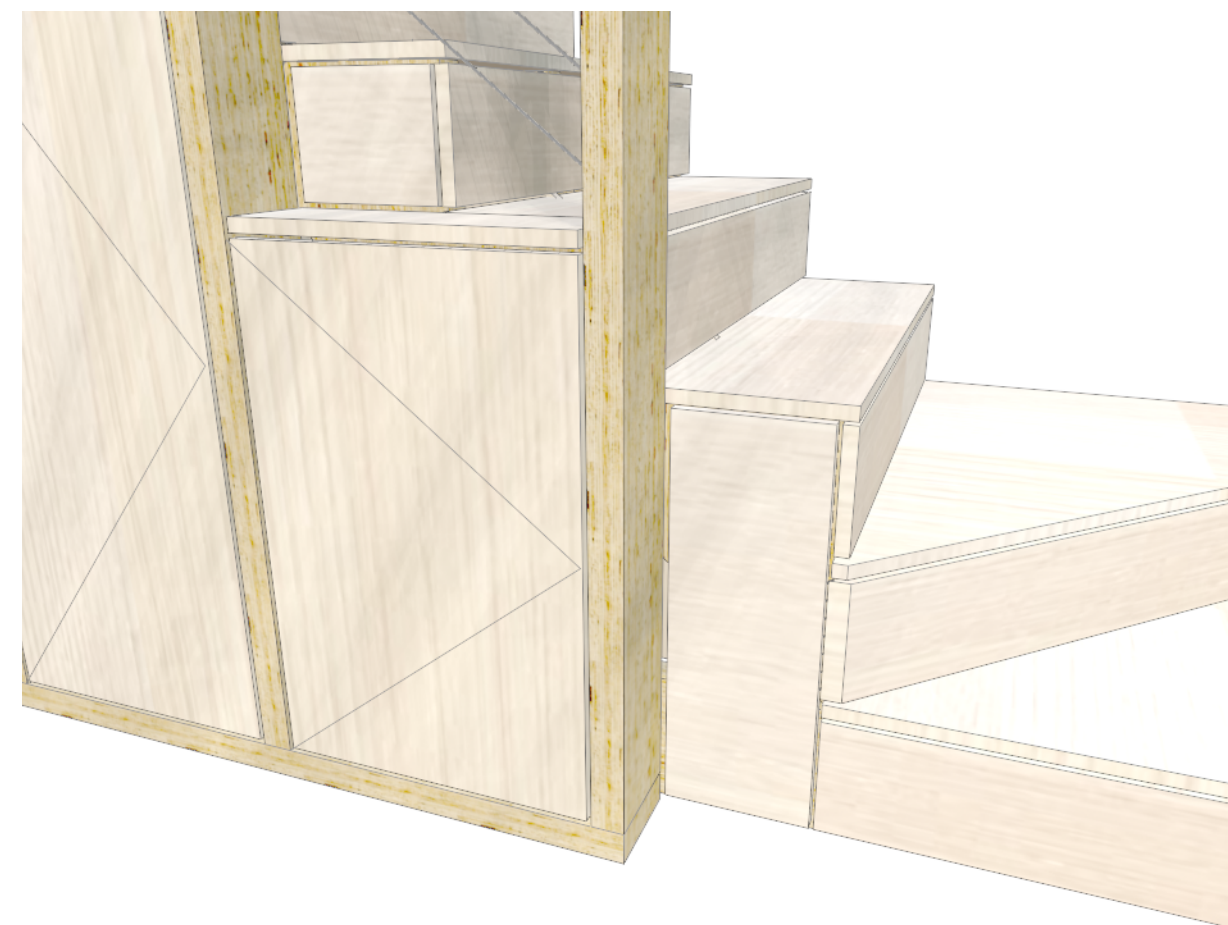


5C/A400 STAIR - PERSPECTIVE 1
1/16"=1'-0"

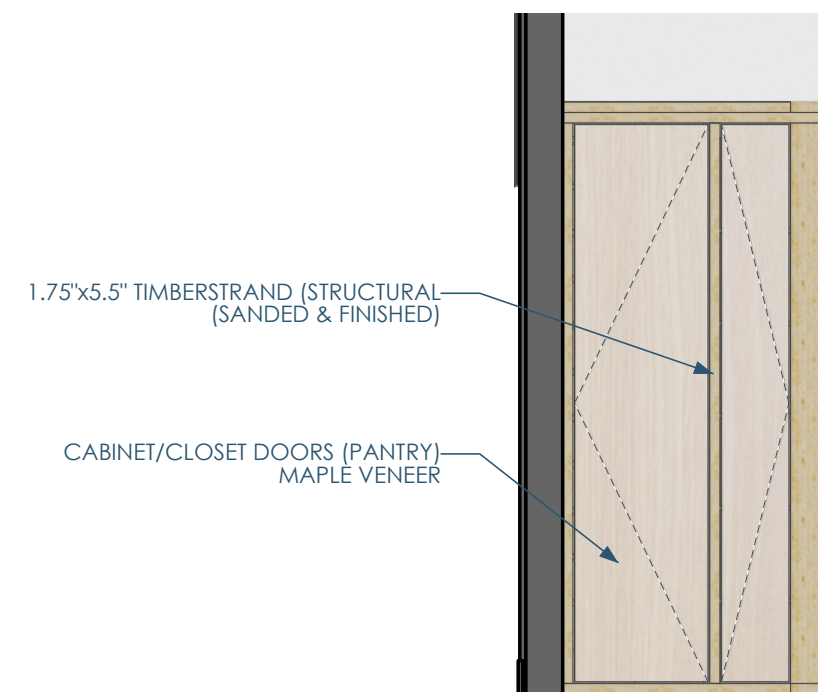
4C/A400 STAIR - PERSPECTIVE 2
1/16"=1'-0"

3C/A400 STAIR - PERSPECTIVE 3
1/16"=1'-0"

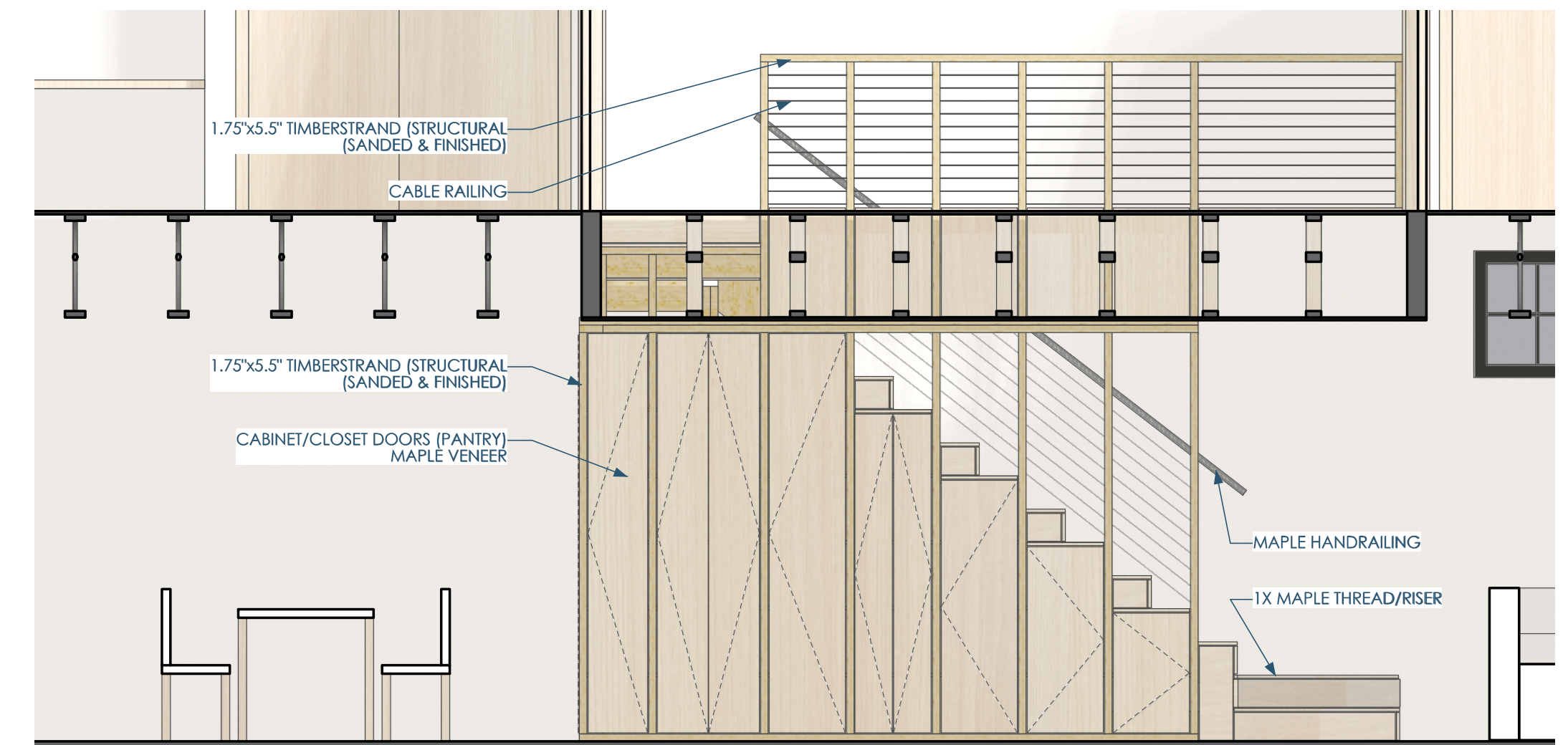
2C/A400 STAIR - PERSPECTIVE 4
1/16"=1'-0"



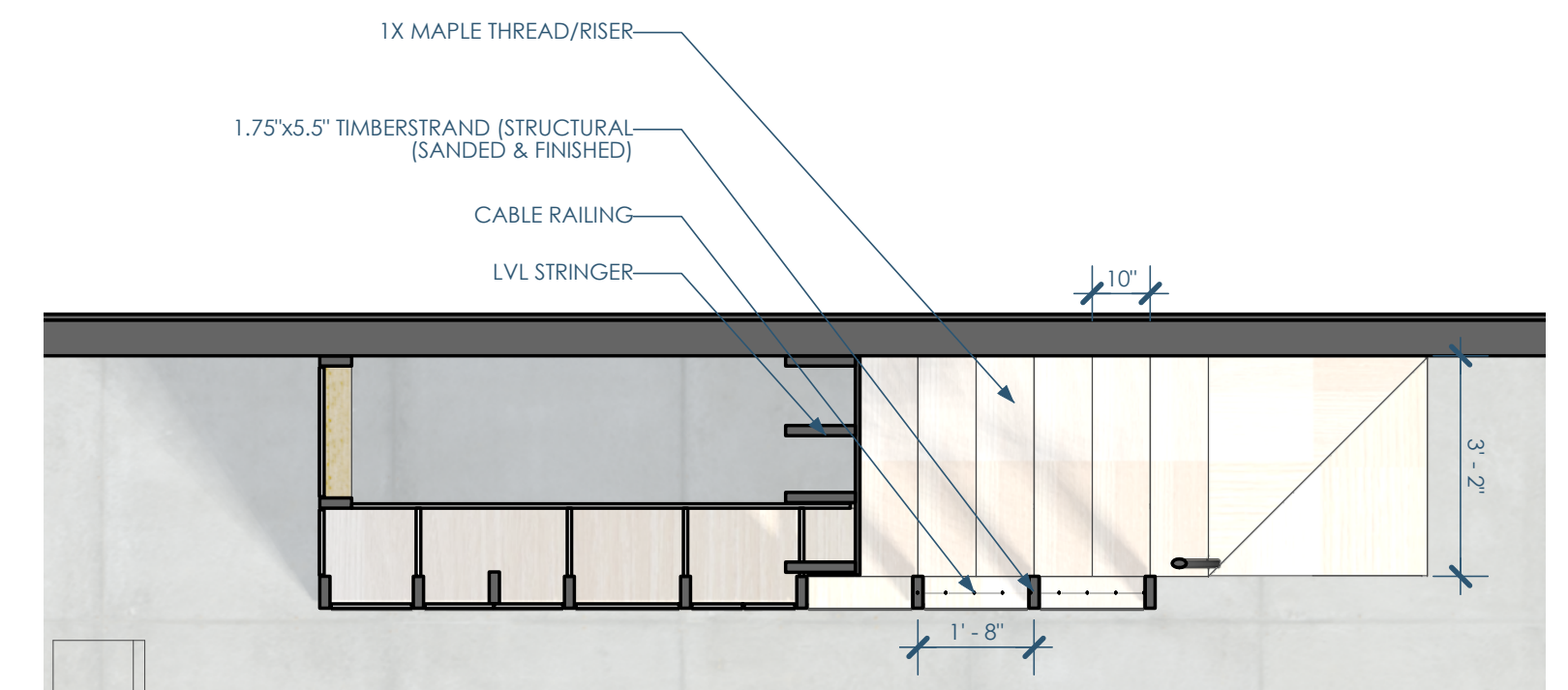
5B/A400 STAIR - PERSPECTIVE 5 - detail
1"=20"



3B/A400 STAIR - ELEVATION - END
3/8"=1'-0"

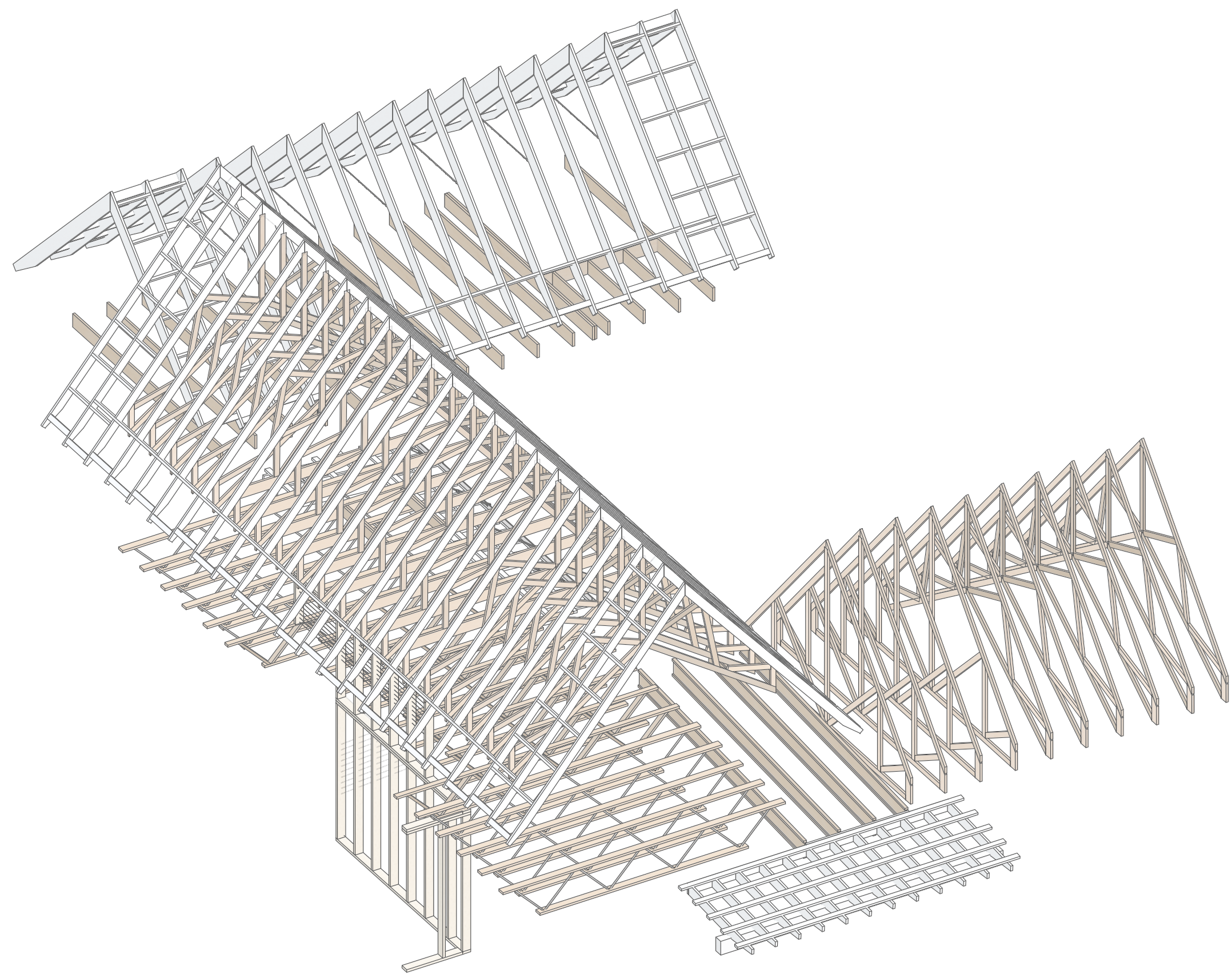


2B/A400 STAIR - ELEVATION - FRONT
3/8"=1'-0"



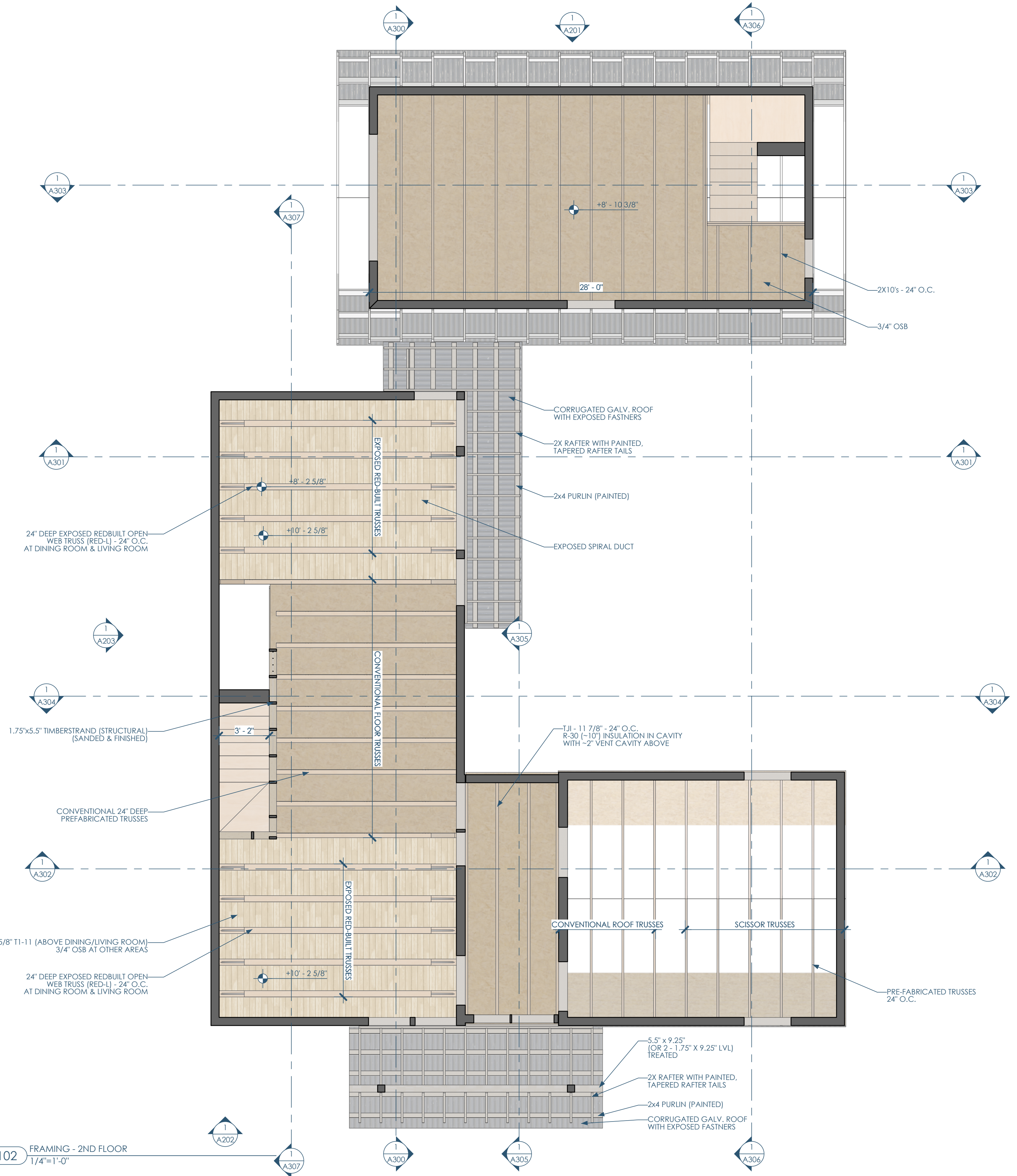
2A/A400 STAIR - ENLARGED PLAN
3/8"=1'-0"



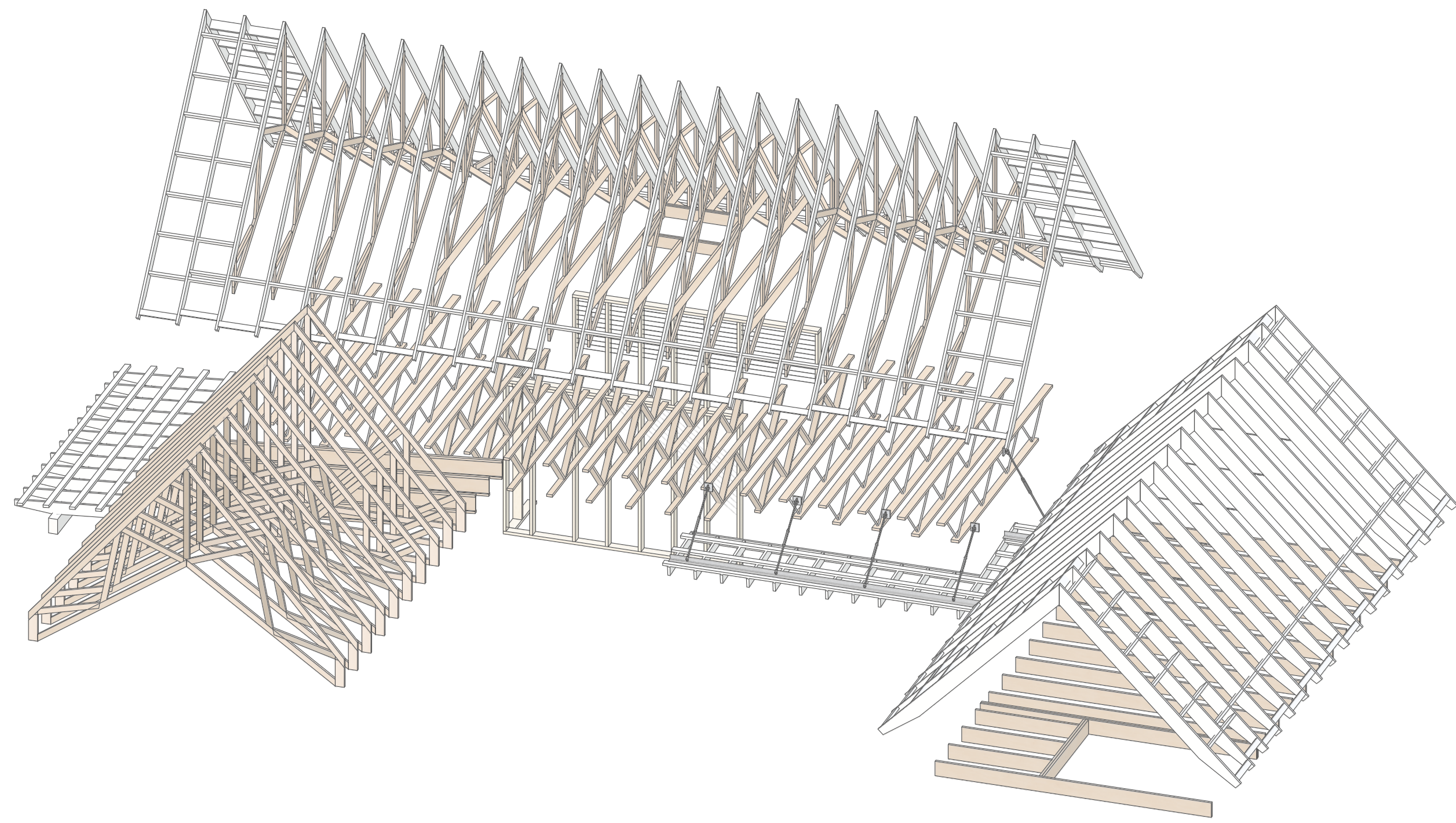


2/S102 FRAMING - AXON - 1
3/16"=1'-0"

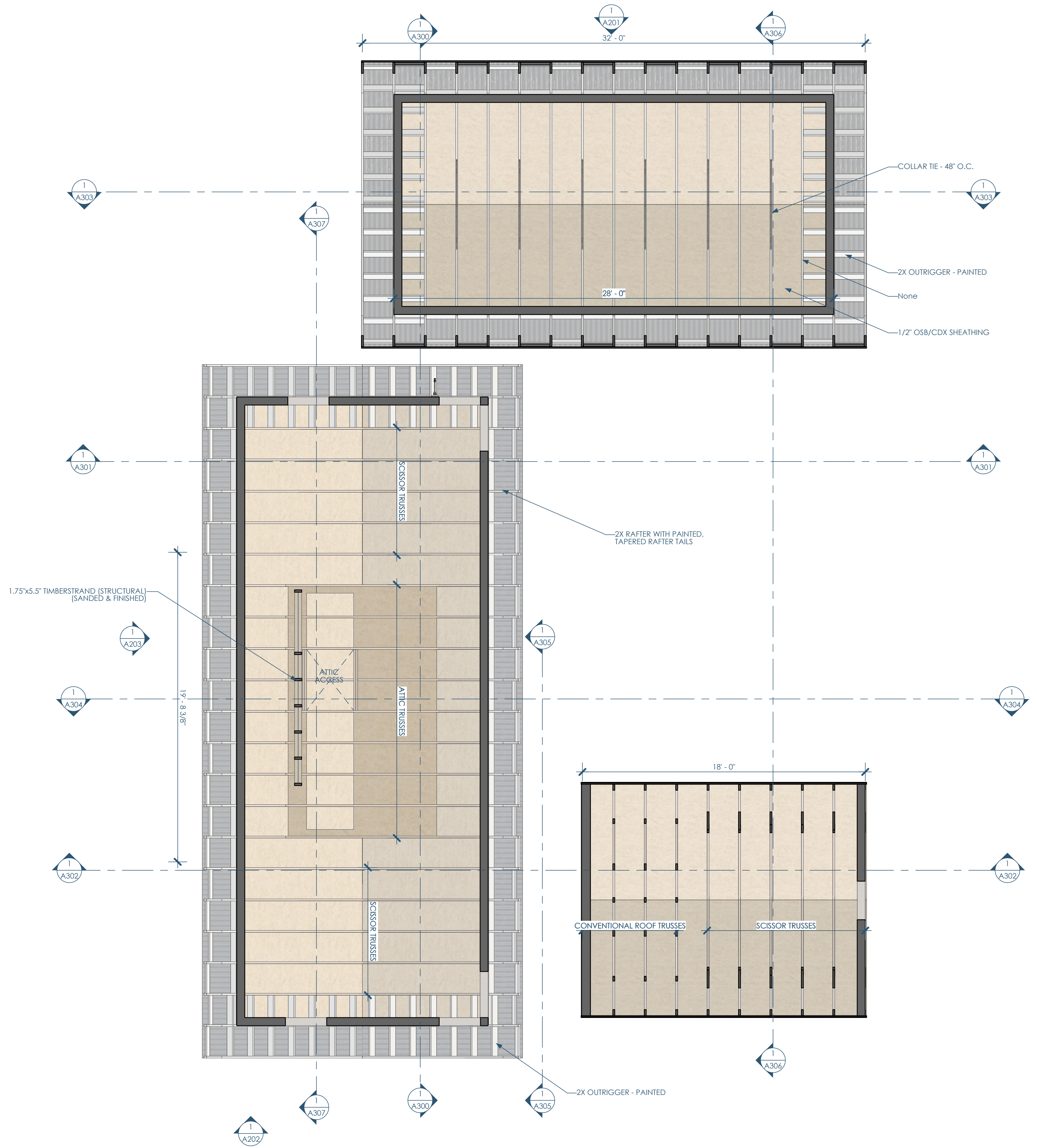
1/S102 FRAMING - 2ND FLOOR
1/4"=1'-0"



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2/S103 FRAMING - AXON - 2
3/16"=1'-0"



1/S103 FRAMING - ROOF
1/4"=1'-0"



Architect: Opening Design
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

FRAMING - ROOF 04/02/2024
HIGHLAND HAVEN
N1777 FRIEDEL RD - FORT ATKINSON, WI 53589

S103

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TYPE	LENGTH	VOLUME	MATERIAL
THICKENED SLAB - EDGE	247	774	24" DEEP CONCRETE\THICKENED EDGE
THICKENED SLAB - MID	42	182	24" DEEP CONCRETE\THICKENED EDGE

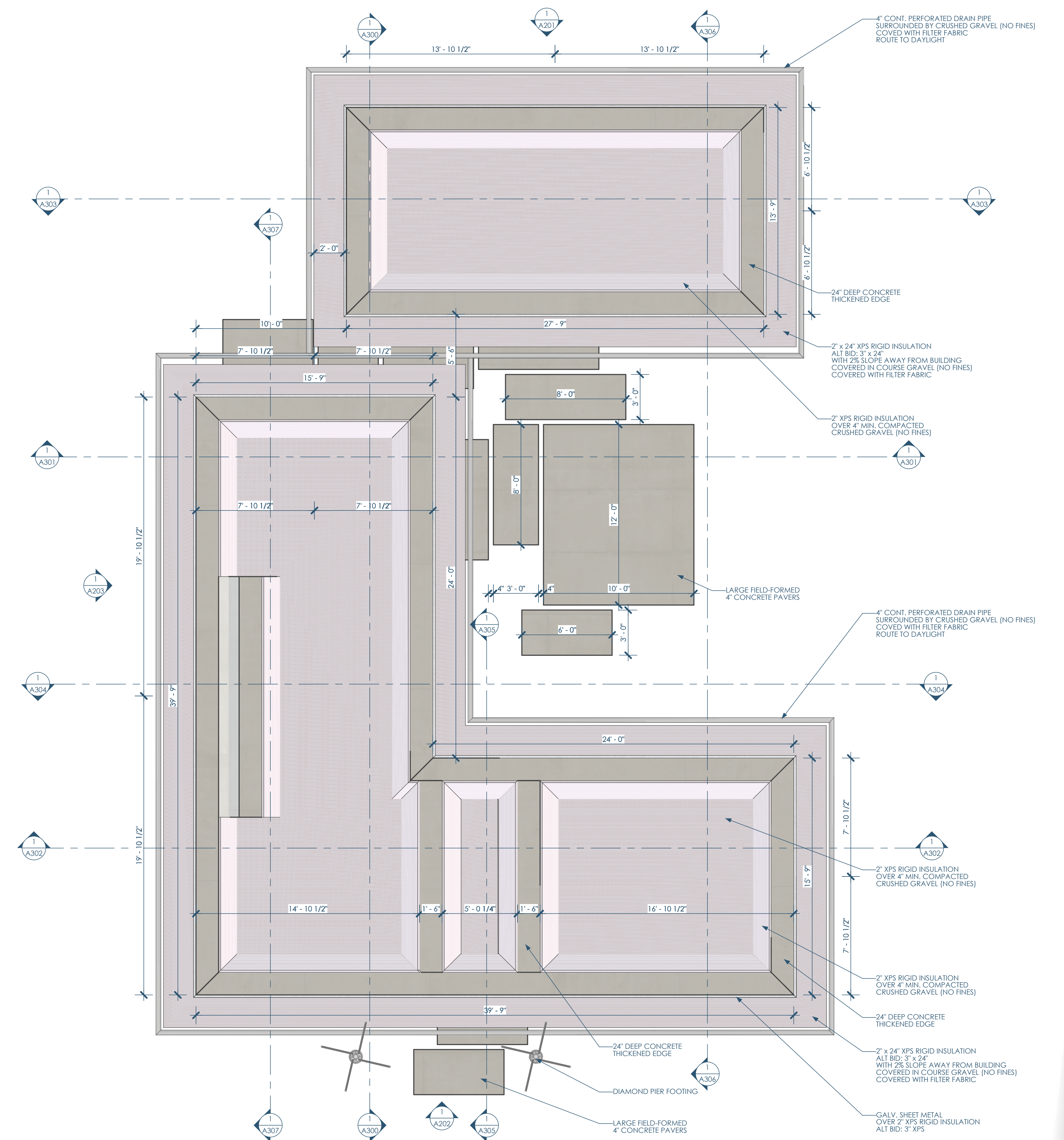
5C/S-101 QUANTITY TAKE-OFF - FOOTING

TYPE	AREA	MATERIAL
2" EPS INSULATION - HORZ. EXTENSION	521	2" x 24" XPS RIGID INSULATION\ALT BID: 3" x 24" WITH 2% SLOPE AWAY FROM BUILDING\COVERED IN COURSE GRAVEL (NO FINES)\COVERED WITH FILTER FABRIC
2" EPS INSULATION - UNDER SLAB	681	2" XPS RIGID INSULATION\OVER 4" MIN. COMPACTED\CRUSHED GRAVEL (NO FINES)
2" EPS INSULATION - UNDER SLAB - SLOPED	490	2" XPS RIGID INSULATION\OVER 4" MIN. COMPACTED\CRUSHED GRAVEL (NO FINES)
2" EPS INSULATION - VERTICAL - AT PERIMETER	489	GALV. SHEET METAL\OVER 2" XPS RIGID INSULATION\ALT BID: 3" XPS
GYP. CEILING	379	1/2" GYP. BD @ CEILING
GYP. CEILING AT ROOF	1021	R-49 BATT. INSULATION\OVER VAPOR BARRIER\OVER 5/8" GYP. BD.
GYP. CEILING W/ STUD	30	1/2" GYP. BD @ CEILING
TILE - 1	95	TILE - 1
TILE - 2	22	TILE - 2

5C/S-101 QUANTITY TAKE-OFF - COVERINGS

TYPE	AREA	MATERIAL
CONCRETE PAVERS	318	LARGE FIELD-FORMED 4" CONCRETE PAVERS
CONCRETE SLAB	1386	4" CONCRETE SLAB (STAINED & SEALED) WITH 6"x6" WIRE MESH\WITH RADIANT HEAT TUBS\OVER 6 MIL VAPOR BARRIER
CORRUGATED METAL	2680	CORRUGATED GALV. ROOF WITH EXPOSED FASTENERS\OVER 30LB FELT UNDERLAYMENT\OVER 1/2" CDX (PAINTED AT EXTERIOR)\VENT. VENT. AT RIDGE
CORRUGATED METAL - BUTYL	94	CORRUGATED GALV. ROOF (BUTYL AT SEAMS) WITH EXPOSED FASTENERS\OVER 30LB FELT UNDERLAYMENT\1/12 SLOPE
CORRUGATED METAL AT OVERHANGS	184	CORRUGATED GALV. ROOF WITH EXPOSED FASTENERS
FLOOR OSB	635	3/4" OSB
T1-11	389	5/8" T1-11 (ABOVE DINING/LIVING ROOM)\3/4" OSB AT OTHER AREAS

4/S-101 QUANTITY TAKE-OFF - SLABS



3A/S-101 FOUNDATION PLAN - RCP
1/4"=1'-0"

openingdesign
Architect: OpeningDesign
17 S Fairchild | FL 7
Madison, WI 53703
ryan@openingdesign.com | 773.425.6456

SCHULTZ CONSTRUCTION CO.
GC: J W Schultz Construction
N2941 Bander Rd
Fort Atkinson, WI 53589
jason@jwschultz.net | 608.295.6891

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