

CODE INFORMATION

- Codes**
- General: *International Building Code (IBC) 2021* & SPS 361-366 Amendments
 - Existing: *International Existing Building Code (IEBC) 2021* & SPS 364 Amendments
 - Energy Conservation: *International Energy Conservation Code (IECC) 2021* & SPS 363 Amendments
 - Plumbing: *Wisconsin Plumbing Code: SPS 380-387*
 - Mechanical: *International Mechanical Code (IMC) 2021* & SPS 364 Amendments
 - Electrical: *National Electrical Code (NEC) 2017* & SPS 316 Amendments
 - Fire: *International Fire Code (IFC) 2021* & SPS 314 Amendments
 - Fuel: *International Fuel Gas Code (IFGC) 2021* & SPS 365 Amendments
 - Accessibility: *ANSI Standard A117.1-2017* - Accessibility

- IBC Chapter 3 - Use and Occupancy Classification**
- Scope Area:
 - 304 Business Group B
 - 303.1.1 Small Buildings and Tenant Spaces
 - A building or tenant space used for assembly purposes with an occupant load of less than 50 persons shall be classified as a Group B occupancy.

- IBC Chapter 4 - Special Detailed Requirements Based on Occupancy and Use**
- Section 402 Covered Mall and Open Mall Buildings

- IEBC Chapter 6 - Classification of Work**
- Section 602 Alteration—Level 1 (most of the project)
 - Section 603 Alteration—Level 2 (some equipment)

- IBC Table 601 - Fire-resistance Rating Requirements For Building Elements (Hours)**
- Type IIB:
 - Structural Frame: 0 hr
 - Bearing Walls (Exterior/Interior): 0 hr
 - Non-Bearing Walls (Interior): 0 hr
 - Floors: 0 hr
 - Roof: 0 hr

- IBC Section 602 - Construction Classification**
- Type IIB

- IBC Table 803.13 - Interior Wall And Ceiling Finish Requirements By Occupancy**
- II. SPRINKLERED
 - Exit Stairways/Ramps: Class B
 - Corridors: Class C
 - Rooms/Enclosures: Class C

- IBC Section 903 - Automatic Sprinkler Systems**
- Sprinklers per NFPA 13 require, and provided

- IBC Section 906 - Portable Fire Extinguishers**
- Ordinary (Moderate) Hazard Occupancy:
 - Type 2-A:
 - Maximum floor area per unit of A: 1,500 SF
 - Maximum floor area for extinguisher: 75 ft
 - Maximum floor area for extinguisher: 11,250 sf
 - Max distance to extinguisher: 75 ft
 - Commercial Kitchens (if applicable):
 - Type 2-A:K extinguisher (2.5-gal or two 1.5-gal within 30 ft)

- IBC Section 907 - Fire Alarm and Detection Systems**
- A manual fire alarm system is required and is currently provided

- IBC Section 1004 - Occupant Load**
- See occupant load room schedule

- IBC 2902.1 - Minimum Number of Fixtures**
- IEBC Section 80B - Plumbing
 - Occupant load increase <20%
 - No change in plumbing fixture count required

GENERAL NOTES

- Design-Build Systems**
- Design-Build Systems: Mechanical (HVAC), electrical (and lighting), plumbing, fire protection, and fire alarm systems will be delivered via design-build. These drawings do not include system-specific details. The M/E/P/FP/A contractor is responsible for final design coordination with the general contractor and must notify the architect of any structural or architectural changes in advance.

- Permits and Compliance**
- Permits and Fees: The general contractor (GC) is responsible for all permits, applications, inspection certificates, taxes, and related fees.
 - Codes and Regulations: All work must comply with applicable city, township, county, state, and federal codes, statutes, ordinances, and the requirements of the authority having jurisdiction (AHJ).
 - Unauthorized Work: Any construction deviating from the drawings without written architect approval is unauthorized. The contractor is responsible for any required rework.

- Coordination and Communication**
- Contractors shall review the entire drawing set (including across disciplines) and visit the site before starting work to verify compatibility with existing conditions.
 - Contractors must notify the architect of any omissions, conflicts, or discrepancies before construction begins. Failure to do so makes the contractor responsible for rework.
 - The GC must coordinate access panel/clean-out locations with the M/E/P contractor and the architect.
 - GC to confirm all pipe/duct routing with M/E/P contractors before framing.
 - Only architectural and structural drawings have been coordinated with the architect; notify the architect if M/E/P work conflicts with these drawings.
 - GC must provide the architect a minimum of two weeks to review shop drawings and substitution requests. Architect's review does not relieve the contractor of responsibility for safety or construction methods.
 - Architect's presence on-site does not imply approval. Contractor must specifically call out work requiring architect review/approval.

- Construction Responsibilities**
- Verify all dimensions and takeoffs prior to bidding or ordering materials.
 - Verify the size of all existing door and window sizes to be replaced.
 - Do not scale drawings.
 - Maintain ingress and egress to the site during construction.
 - Contractor responsible for protecting finished surfaces (e.g., exposed concrete).
 - Contractor responsible for all temporary shoring, designed by a licensed structural engineer.
 - Manufactured products/equipment must be installed per manufacturer requirements.
 - GC to provide blocking and supports for mounted items (e.g., grab bars, plumbing fixtures, millwork, casework).
 - Contractor responsible for repair of any damage caused by their work.
 - Contractor to collect, transport, and dispose of all construction waste.
 - Keep site clean; remove debris and unused equipment regularly.

- Fire and Safety Requirements**
- Seal all penetrations in rated partitions, ceilings, and floors with UL-approved, code-compliant firestop.
 - Notify the architect of any exterior wall penetrations larger than 12"x12".
 - Any new or modified fire alarm systems must integrate with the existing system.
 - Before coring pre-tensioned or post-tensioned slabs, GC must hire a third-party scanning company. Report must be reviewed/approved by owner's structural engineer.

- Site and Envelope Requirements**
- Exterior flatwork around the building must slope away at a minimum of 2%.
 - Unless noted otherwise, interior floors must slope 2% toward floor drains.
 - Seal all exterior envelope penetrations to prevent air/water leakage per IBC requirements.
 - All exterior structural steel to be hot-dipped galvanized (all cutting, drilling, welding, or bending completed prior to dipping).

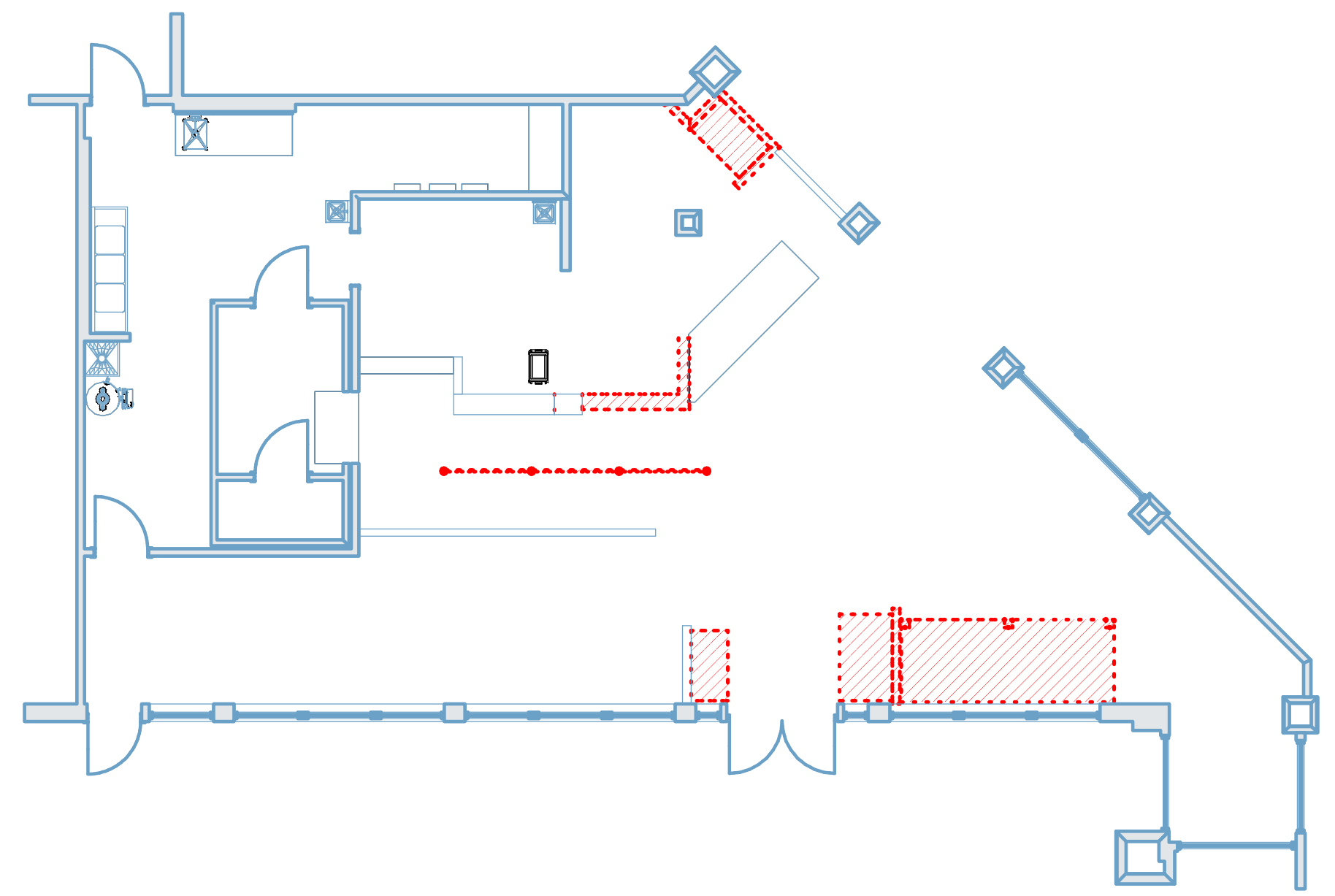
- Closeout and Owner Responsibilities**
- GC to train owner in the operation and maintenance of installed products/equipment.
 - Prior to substantial completion, contractor shall clean the site and deliver all required guarantees, lien waivers, and maintenance manuals.
 - Owner is responsible for work not specifically identified in the drawings.
 - Any changes involving additional cost or time must be approved in writing by the owner/architect before construction.
 - Details are typical unless noted otherwise; apply them to similar conditions throughout the project.
 - Any furniture shown is for reference only.

- Hazardous Materials**
- Architect is not responsible for identifying, handling, or addressing hazardous materials (e.g., asbestos, PCBs, or other toxic substances).

- Materials**
- Any unspecified materials required for proper installation/performance shall be provided by the contractor.

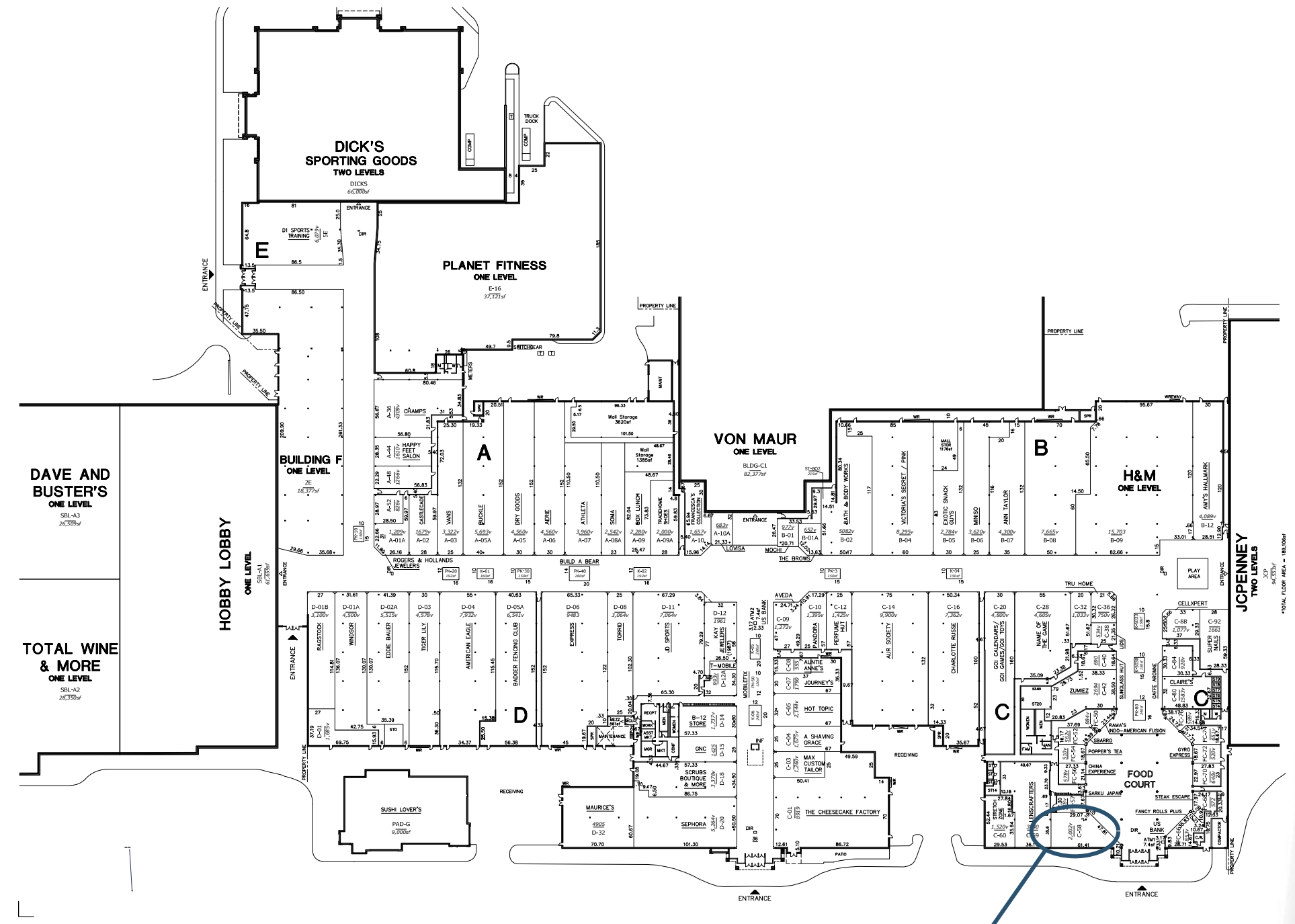
DEMOLITION NOTES

- Contractor to assume all walls/columns indicated to be demolished on the plan to be load-bearing. Contractor is responsible to make the determination they are not load-bearing and can be removed. Consult with the Architect if there is any question.
- Contractor to protect all existing construction from damage, dust, and fumes. Patch and repair as necessary.
- Seal the intake/exhaust of any ducts that route into adjoining spaces that are outside the demolition scope.
- Contractor to coordinate the disconnection and capping (and any associated fees) of any service utilities associated with the demolition scope.
- All floors to be leveled as necessary (grinding, patching, leveling, chiseling) to receive any scheduled finishes.
- Contractor to notify Owner and/or Landlord of any demolition that is necessary outside tenant space.
- Additional demolition, beyond what is identified here, may be required to accommodate the planned construction scope.
- Owner/GC/Subs are responsible to test if removed items contain any hazardous materials and, if so, ensure legal removal in compliance with local, state, and federal laws.
- Contractor is responsible for any temporary shoring necessary when existing structural members are removed to accommodate any new construction. All shoring to be designed by a licensed Structural Engineer retained by the Contractor.
- See Mechanical/Electrical/Plumbing/Fire Protection drawings for any additional demolition scope.



4/A100 DEMO PLAN
1/8"=1'-0"

2/A100 DEMOLITION NOTES-1



5/A100 OVERALL MALL LAYOUT

PROJECT LOCATION

CODE INFO, DEMO PLAN & NOTES

BAKERY

112 W TOWNE MALL, MADISON, WI 53719

A100

A

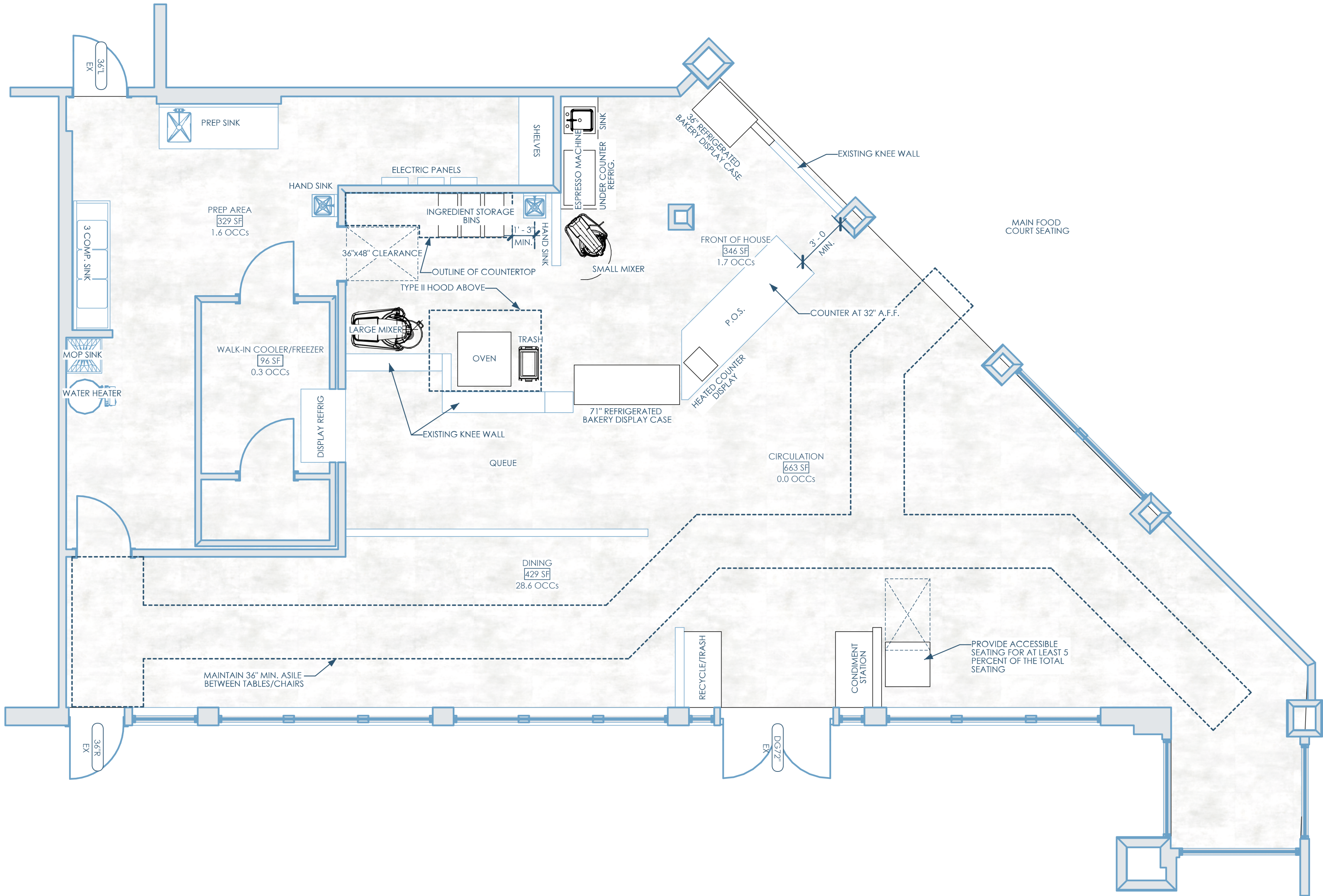
C

B

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1/A101 FLOOR PLAN - 1ST FLOOR
1/4"=1'-0"

| NAME | AREA | FUNCTION OF SPACE | AREA PER OCCUPANT | OCCUPANTS |
|------------------------|------|-------------------|-------------------|-----------|
| CIRCULATION | 663 | CIRCULATION | 0 | 0.0 |
| WALK-IN COOLER/FREEZER | 96 | STORAGE | 300 | 0.3 |
| PREP AREA | 329 | COMM. KITCHEN | 200 | 1.6 |
| FRONT OF HOUSE | 346 | COMM. KITCHEN | 200 | 1.7 |
| DINING | 429 | ASSEMBLY | 15 | 28.6 |
| Sum: | 1863 | | | Sum: 32.3 |

2/A101 ROOM SCHEDULE - OCCUPANCY



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