

Mail Permit  
 Call for PICK-UP

**JEFFERSON COUNTY**  
**ZONING AND LAND USE PERMIT APPLICATION**  
 320 S. MAIN ST., ROOM 201, JEFFERSON, WI 53549  
 PHONE: (920) 674-7130  
 FAX: (920) 674-7525

Please use **black**  
 or **blue**  
 Ink **ONLY!**

(Contact person) name and phone #

	FULL NAME	(Mailing) STREET ADDRESS	CITY / STATE	ZIP	TELEPHONE NO.
I. OWNERS (all)	CARTY MONAHAN	1807 S. MAIN ST FT. ATKINSON	WI	53538	920-563-3117
CONTRACTOR	JAYS	N1949 HWY 12, FT. ATKINSON WI			920-563-2400

II. PROPERTY DESCRIPTION: TAX PARCEL (PIN #) 016-0514-0941-030 TOWN Koshkonong  
 LOT NO. - BLOCK - SUBDIVISION - ACRES 0.84 ZONING DISTRICT R-2  
 LOT NO. 2 CSM NO. 1566 VOL. 5 PG. 91 PROJECT SITE- FIRE NO. & ROAD N1807 S. Main

III. TYPE, SIZE, VALUE, & USE OF PROPOSED STRUCTURE OR IMPROVEMENT

A. **RESIDENTIAL**

NEW STRUCTURE  ADDITION   
 SINGLE FAMILY RESIDENCE  
 No. of Bedrooms 3  
 MULTI-FAMILY RESIDENCE  
 No. of Units \_\_\_\_\_ No. of Bedrooms \_\_\_\_\_  
 GARAGE-ATTACHED  
 GARAGE-DETACHED  
 FLOODPLAIN  OFF  FW  
 OTHER \_\_\_\_\_  
 SQ. FT. OF RESIDENCE OR ADDITION  
6'6" x 5'6"  
 SQ. FT. OF GARAGE (ATT. OR DET.) \_\_\_\_\_  
 HEIGHT OF PROPOSED STRUCTURE 1 story  
 SPECIFY USE BATHROOM ADDITION  
 VALUE OF CONSTRUCTION \$15,000

B. **NON-RESIDENTIAL**

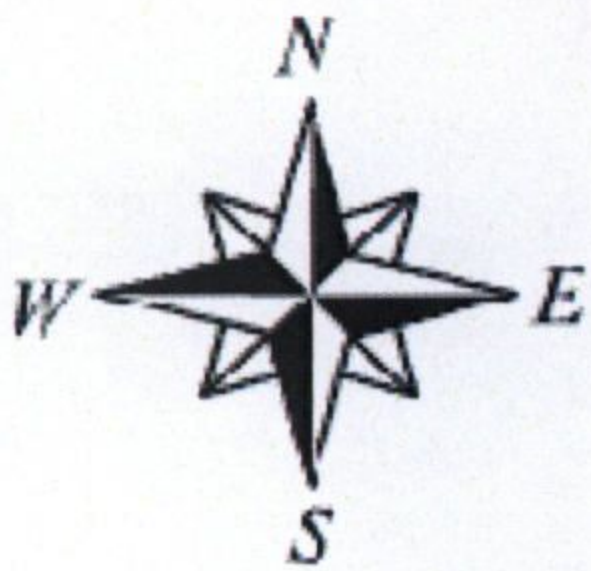
NEW STRUCTURE  ADDITION   
 AGRICULTURAL  
 INDUSTRIAL  
 BUSINESS  
 CAMPGROUND  
 SHORELAND / WETLAND  
 FLOODPLAIN  OFF  FW  
 OTHER \_\_\_\_\_  
 SQ. FT. OF NEW STRUCTURE OR ADDITION \_\_\_\_\_  
 HT. OF PROPOSED STRUCTURE \_\_\_\_\_  
 SPECIFY USE \_\_\_\_\_  
 VALUE OF CONSTRUCTION \_\_\_\_\_

CHECK WITH TOWN FOR ADMINISTRATIVE AND / OR BUILDING PERMIT REQUIREMENTS!

OTHER DETAILS:

Class E - Setbacks Road  
 SANITARY PERMIT NO. None on file  
 NUMBER OF BEDROOMS Not Adding Bedrooms  
 PUBLIC SEWER -  
 NON-CONFORM. STRUCTURE / USE Class E Road Setbacks  
 FLOODPLAIN   
 SHORELAND / WETLAND   
 INSPECTION DATE: \_\_\_\_\_  
 ACCESS APPROVAL REQUIRED: Existing  
 TOWN, COUNTY, OR STATE  Y  N

IV. PLOT PLAN (SKETCH) SHOWING ALL EXISTING STRUCTURES AND THE LOCATION OF THE NEW STRUCTURE OR ADDITION INCLUDING DISTANCES FROM THE CENTERLINE AND RIGHT-OF-WAY OF THE ROAD, SIDE AND REAR LOT LINES, NAVIGABLE WATERS, SEPTIC TANK & FIELD, AND WELL. GIVE ALL DIMENSIONS. NOTE: ALSO SHOW DRIVEWAY LOCATION. ATTACH PLOT PLAN, NO LARGER THAN AN 8 1/2 X 11 OR 11 X 17 SHEET IF NECESSARY  
**FAILURE TO INCLUDE ALL OF THE ABOVE MENTIONED ITEMS WILL DELAY ISSUANCE OF PERMIT!**  
**BE SURE TO INCLUDE DECKS FOR NEW HOMES!**



See Attached Survey

PERMIT

58286

OWNER - CHECK FOR APPLICABLE DEED, PLAT AND TOWN RESTRICTIONS & PERMIT REQUIREMENTS

**THIS PERMIT MAY BE APPEALED FOR 30 DAYS AFTER PUBLICATION OF ISSUANCE.**

THE OWNER OF THIS PARCEL AND THE UNDERSIGNED AGREE TO CONFORM TO THE CONDITIONS OF THIS PERMIT AND TO ALL APPLICABLE LAWS OF JEFFERSON COUNTY.  
 Do not write in this space - OFFICE USE ONLY

**THIS PERMIT EXPIRES TWO(2) YEARS AFTER DATE OF ISSUE.**

PERMIT FEE	APPROVED BY	DATE PERMIT ISSUED
\$ 150 -	<i>[Signature]</i>	5/7/10

FEE SCHEDULE ON REVERSE SIDE OF FORM

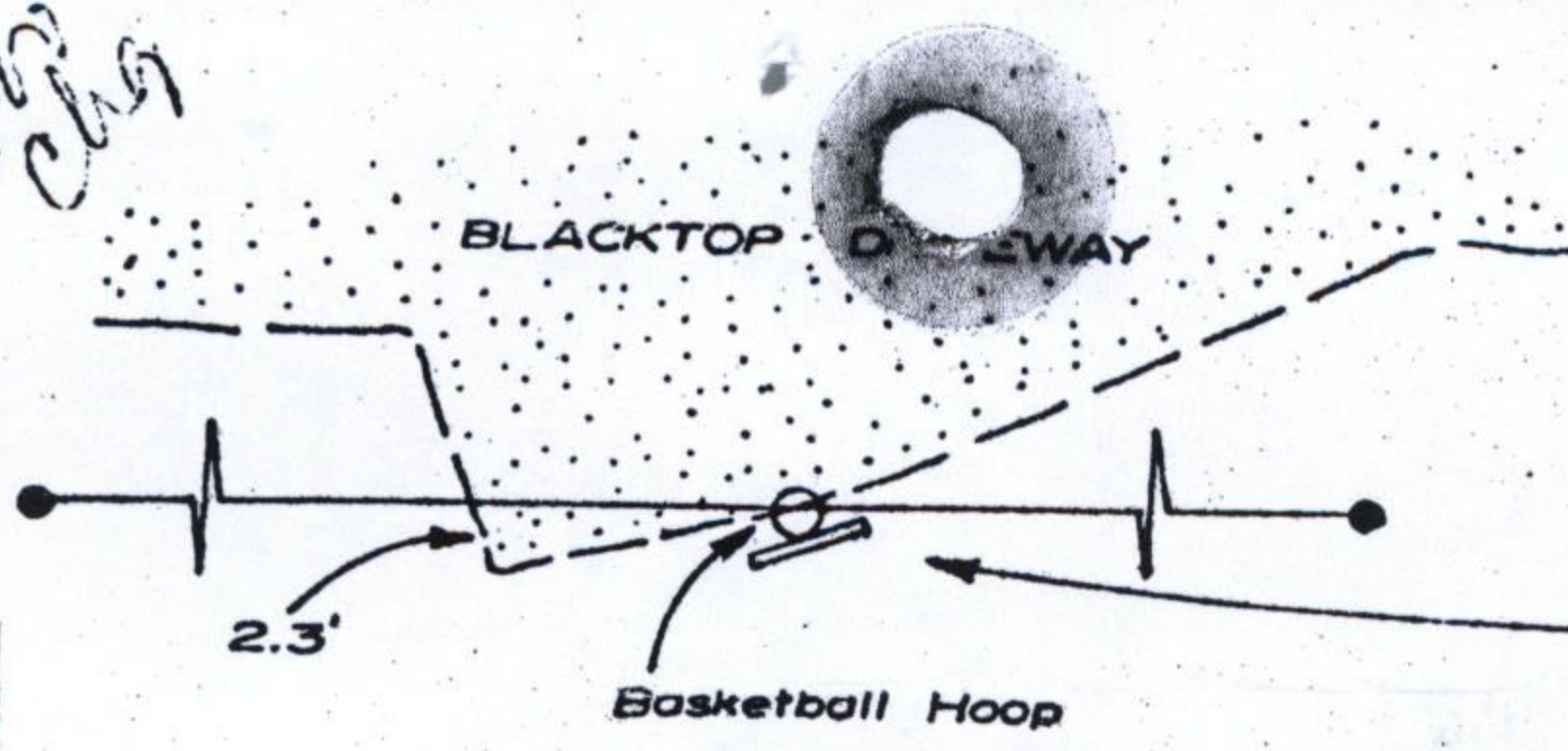
*[Signature]*  
 Signature of Applicant

4/23/10  
 Application Date

**CERTIFIED SURVEY MAP**

VD-71

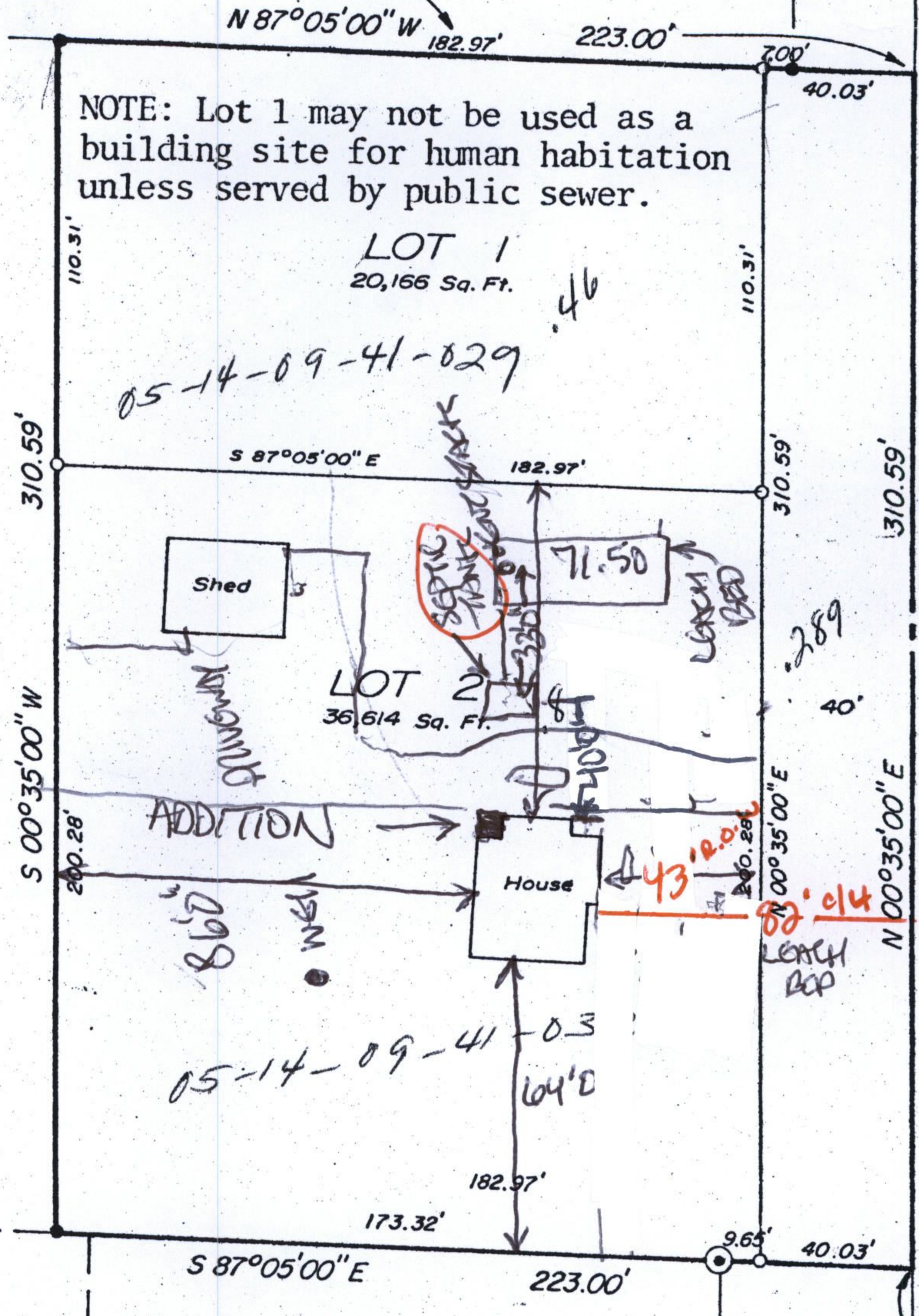
E 1/4 Corner Section 9-5-14



NOTE: Lot 1 may not be used as a building site for human habitation unless served by public sewer.

LOT 1  
20,166 Sq. Ft.

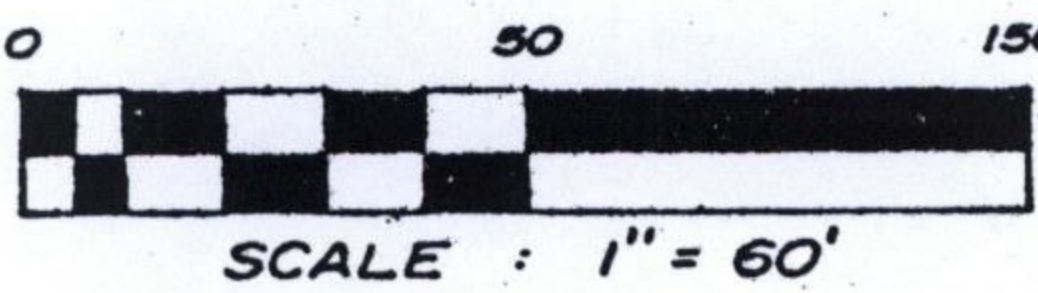
LOT 2  
36,614 Sq. Ft.



LOT 2  
C.S.M. #581

STREET  
MAIN  
SOUTH

- Found 4" Diameter Aluminum Monument
- ⊙ Found 2" Iron Pipe
- Found 1" Iron Pipe
- Set 1"x24" Iron Pipe Weighing 1.13 #/Lin. Ft.



Assumed North referenced to the east line SE 1/4, Section 9, T5N, R14E.

HILLTOP PLAT

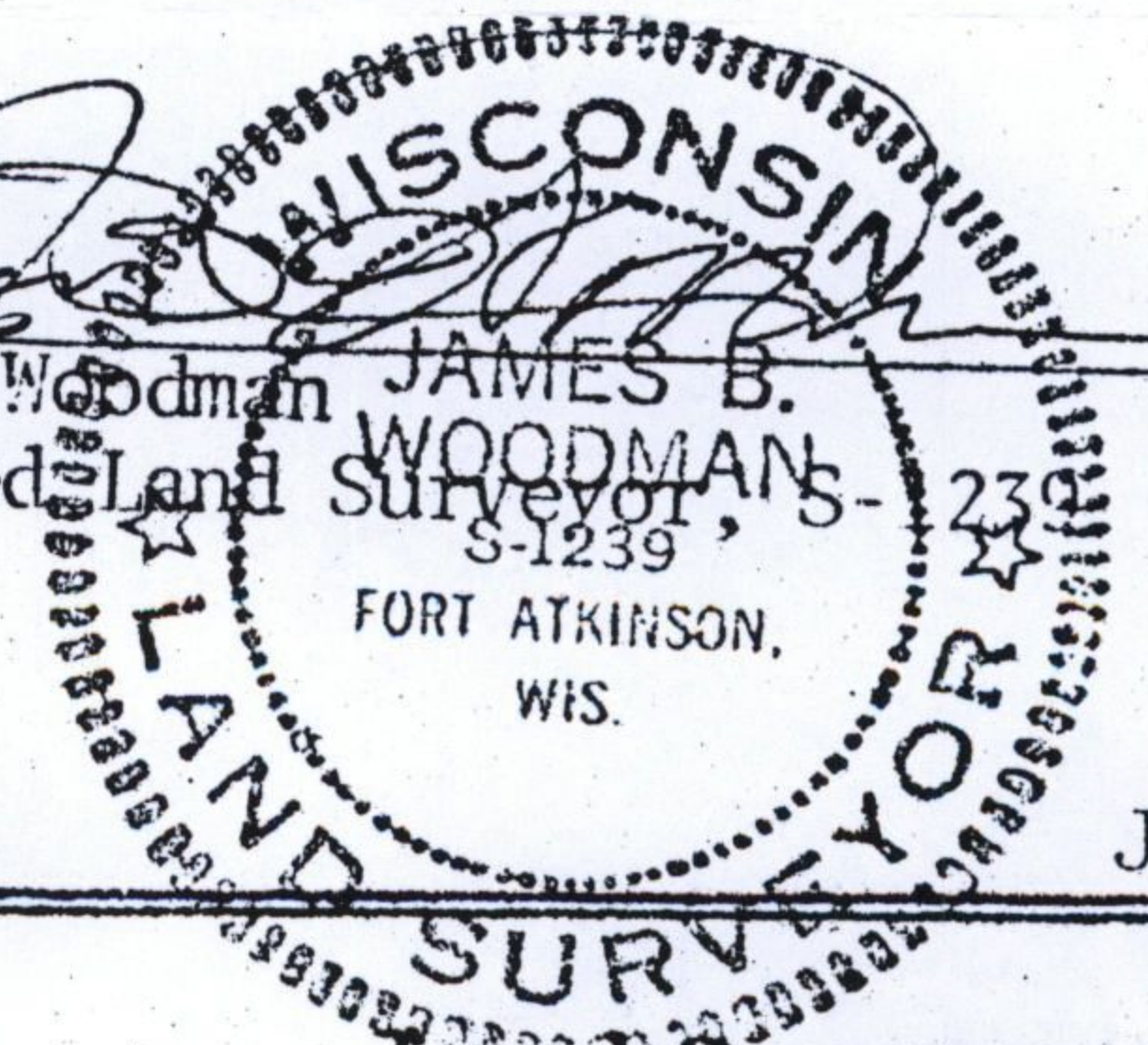
**SURVEYOR'S CERTIFICATE**

I, James B. Woodman, Registered Land Surveyor, hereby certify that in full compliance with Chapter 236.34, Wisconsin Statutes and the subdivision regulations of Jefferson County and by the direction of Carty Monahan, owner, this land has been surveyed, divided and mapped under my responsible direction and supervision and is all of Lot 1, Certified Survey Map #581 recorded in Volume 2 of Certified Surveys at page 406 in the NE 1/4 of the SE 1/4 of Section 9, T5N, R14E, Town of Koshkonong, Jefferson County, Wisconsin, to-wit:

Beginning at the SE corner of said Lot 1; thence N00°35'00"E, along the centerline of South Main Street, also being the east line of said SE 1/4, 310.59 feet; thence N87°05'00"W, along the north line of said Lot 1, 223.00 feet; thence S00°35'00"W, along the west line of said Lot 1, 310.59 feet to the north line of HILLTOP PLAT; thence S87°05'00"E, along said north line of HILLTOP PLAT, 223.00 feet to the place of beginning, containing 1.589 acres and subject to a road right of way across the easterly 40 feet.

Date 9-2-81

James B. Woodman  
Registered Land Surveyor



Sheet 1 of 3

JN 81S-95

**STRAND & WOODMAN ASSOCIATES**  
210 Madison Ave., Fort Atkinson, WI 53538

**Land Surveyors & Engineers**  
Phone (414) 563-8182

1566-5-91



# Jefferson County

ZONING AND SANITATION DEPARTMENT  
COURTHOUSE, 320 S. MAIN ST., JEFFERSON, WI 53549  
ROOM 201 PHONE 920-674-7130 FAX 920-674-7525

TO: Jay's Custom Windows + Siding LLC  
for Carty Monahan  
FROM: Jefferson County Zoning & Sanitation Department  
RE: Land Use Permit Application Submittal  
Site Address:

DATE: 4/27/10 - Updated 5/3/10

Our records show that you submitted a land use application for an improvement to your property. Your permit request has been on hold for the following information:

- Your request requires a rezoning, conditional use, or variance public hearing review before issuance of the permit.
- The required fee of \$\_\_\_\_\_ needs to be submitted.
- We need an updated sketch showing the proposed setbacks -Septic field  
Septic tank
- Property owner transfer
- Submittal of a sanitary permit or lateral hook-up permit for public sewer
- Well or septic locations
- Floodplain elevation or wetland delineation
- Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Please contact this office at (920) 674-8638 or (920) 674-7113 at your earliest convenience to inform us on how you would like us to proceed with your permit. If you do not contact us within 30 days from the date of this letter, we will assume you wish to abandon your project, and will no longer maintain your file.

Called  
4/27/10  
Talked to  
Mark  
he will get  
Back to  
us.

Monahan, Jay's Custom Windows

CRB 111-3

JEFFERSON COUNTY

ZONING

JEFFERSON, WI 53549

674-7130

# CASH RECEIPT

Date

4/16/10

017970

Received From

Jay's Custom Windows & Siding LLC

Address

Dollars \$

150-

For

Monahan land use permit

### ACCOUNT

### HOW PAID

AMT. OF ACCOUNT			CASH		
			CHECK	# 2273	
AMT. PAID			MONEY ORDER <input type="checkbox"/>		
BALANCE DUE			CREDIT CARD <input type="checkbox"/>		

By

D Magnitz

STATE OF WISCONSIN  
COUNTY OF JEFFERSON

# PERMIT/RECEIPT

058286

PROPERTY OWNER & MAILING ADDRESS:

Carty J. Mahan

PROPERTY ADDRESS:

N1807 S Main St

PARCEL NO. 016-0514-0941030

SUBDIVISION

S 9 T 5 N, R 14 E, TOWNSHIP

KashKona

LOT 2 BLK/CSM 1566-5-91

PERMIT ISSUED FOR: 37# Addition to single family residence

OTHER: ISO

Check

Cash

FEES: \$ 150

Paid By/Contractor-Installer S/7/10

BY

Murphy  
(For Zoning Administrator)

AT

CAUTION: This permit may be appealed for 30 days after publication of issuance.